

Town Clerk's Office

MEMORANDUM

To: Town Board
From: Erin Trostle
Date: July 10, 2025
Re: July 1, 2025 Town Board meeting minutes

Please review the attached.

MINUTES OF THE JULY 1, 2025 MEETING OF THE TOWN BOARD OF THE TOWN OF POUND RIDGE HELD AT 179 WESTCHESTER AVENUE, POUND RIDGE, NEW YORK, AND VIA ZOOM VIDEOCONFERENCE, COMMENCING AT 7:30 PM

PRESENT: SUPERVISOR KEVIN HANSAN
DEPUTY SUPERVISOR/COUNCILPERSON DIANE BRIGGS
COUNCILPERSON ALISON BOAK
COUNCILPERSON NAMASHA SCHELLING
COUNCILPERSON DANIEL PASCHKES

ALSO

PRESENT: TOWN ATTORNEY WILLIAM HARRINGTON
TOWN CLERK ERIN TROSTLE

I. CALL TO ORDER OF REGULAR MEETING

Supervisor Hansan called the meeting to order at 7:31 pm.

II. CALL FOR EXECUTIVE SESSION

Board Action: Motion by Councilperson Paschkas, seconded by Councilperson Briggs, all voting aye, to call for an executive session at 6:30 pm on July 15, 2025.

III. MINUTES

Board Action: Motion by Councilperson Briggs, seconded by Councilperson Boak, all voting aye, to approve the minutes of the June 17, 2025 Town Board meeting.

IV. PUBLIC COMMENT I

Resident John Nathan, of 155 Upper Shad Road, objected to the board's response during the previous meeting to a resident who chose to comment in the middle of a vote, after a motion had been made and seconded, and then declined to sit down after exceeding the three-minute time limit for public comment.

V. NEW BUSINESS

A. KG+D Architects – Conceptual design for possible Police Department building

Supervisor Hansan explained that the purpose of the conceptual design study was to determine the cost of a Police Department building. A conceptual design and an estimated cost are necessary to apply for grants.

Erik Kaeyer, of KG+D Architects, who first presented the conceptual design study at the March 2025 meeting, made a final presentation that incorporated feedback from that meeting.

MINUTES OF THE MEETING OF THE TOWN BOARD
TOWN OF POUND RIDGE
POUND RIDGE, NY
JULY 1, 2025

Resident Catherine Nathan, of 155 Upper Shad Road, asked whether the board had considered the optics of discussing a new Police Department building so soon after the bond vote to expand the firehouse.

Councilperson Boak explained that the board's approach to capital projects is to plan them carefully and to move forward only after securing significant outside funding. She stated that the proposed Police Department project would not move forward if the taxpayers had to bear the entire cost. She also emphasized that it is the board's responsibility to govern according to the town's needs and not to let its decision making be driven by optics.

Councilperson Paschkes reiterated that it is necessary to have a conceptual design in order to apply for grants.

Councilperson Boak pointed out that the possibility of a combined courtroom and OEM meeting room was discussed at the prior meeting but that none of the floorplans in the presentation included that option. Mr. Kaeyer said that he would provide a revised version of the design study that would include a combined courtroom and OEM meeting room.

RESOLUTION 164-25

Board Action: Motion by Councilperson Paschkes, seconded by Councilperson Boak, all voting aye on the following:

RESOLVED, that the Town Board hereby accepts the conceptual design study from KG+D Architects with the addition of a plan for a combined courtroom and OEM meeting room.

B. Supervisor – Consent for DEC hazardous waste contamination monitoring well

RESOLUTION 165-25

Board Action: Motion by Councilperson Briggs, seconded by Councilperson Boak, the motion passing 4–1 with Councilperson Paschkes voting nay, on the following:

RESOLVED, that the Town Board hereby authorizes the Supervisor to sign a consent agreement for the New York State Department of Environmental Conservation to install a monitoring well on the parcel known as Block 9456 Lot 3.6 for the purpose of investigating hazardous waste contamination.

C. Planning Board – Special use permit for the Inn at Pound Ridge

Mr. Nathan asked whether the special use permit could be approved for only one year rather than in perpetuity. The Town Attorney clarified that special use permits are subject to the review of the Town Board and thus can be revoked at any time.

Councilperson Paschkes noted that although he had in the past objected to an amendment to the special use permit that would allow outdoor dining, the Planning Board review process was sufficiently thorough for the Town Board to move ahead with an amendment.

RESOLUTION 166-25

Board Action: Motion by Councilperson Paschkes, seconded by Councilperson Briggs, all voting aye on the following:

RESOLVED, that the Town Board hereby approves an amended special use permit for the Inn at Pound Ridge to allow outdoor dining in accordance with the site plan as follows:

Amended Special Use Permit

July 1, 2025

258 Westchester Avenue
Pound Ridge, NY 10576

1. All vehicle parking for the patrons and other invitees of the Applicant as well as its employees shall occur in accordance with the Amended Site Plan drawing set prepared by John Meyer Consulting, PC, last revised June 19, 2014 (attached in small scale as Exhibit A) as well as the Revised On and Off Premises Parking Management Plan prepared by the Applicants, dated August 7, 2014 (attached as Exhibit B), collectively detailing the on-site parking at the Premises and the offsite parking at the Bedford Central School District (see redacted Agreement attached as Exhibit D).
2. Notwithstanding the fact that the on-site parking complies with zoning, the Applicant is required to notify the Town Board within 7 days of their notice of any change to the off-site parking arrangements at the adjacent Bedford Central School District property reducing the total off-site parking below 20 spaces.

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POUND RIDGE, NY
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Should the total of off-site parking fall below 20 spaces or should a new property be introduced, then the Applicant will immediately commence a Special Use Permit Amendment process with the Town Board.

3. The Applicant also will operate on the Premises in accordance with Chapter 100 (Vehicles and Traffic) and its penalties for offenses set forth in Sections 100-13, 100-15 and 100-27.
4. The Applicant will offer dinner and lunch seven days per week at the Premises.
5. Kitchen service at the Premises will be available until no later than 11:30 pm each day.
6. ~~All dining services will be indoors, and all music or other forms of entertainment will be conducted indoors.~~ **Outdoor dining will be permitted in accordance with the site plan prepared by Books & Falotico Associates and approved by the Planning Board on June 26, 2025 such that during the warmer months 32 seats may be located on an existing outdoor patio, during which time 38 indoor seats will be physically removed and placed in storage in an existing barn on site. Low-voltage downcast LED string lighting will be shut off at 10:00 pm, and there will be no amplified music outdoors.**
7. All refuse pick-up will occur between 7:00 am and 7:00 pm in accordance with Chapter 90 (Solid Waste) and its penalties for offenses set forth in Section 90-4B, as well as Chapter 84 (Refuse Disposal and Carters) and its penalties for offenses codified in Section 84-13. Likewise, all garbage and recycling will be placed in outdoor receptacles no later than 11:00 pm on any evening. Similarly, all deliveries will occur between 7:00 am and 7:00 pm with the Applicant placing a sign on the front and rear entrances at the end of business each night setting forth that there are no deliveries before 7:00 am and that NO COMMERCIAL VEHICLES ARE TO ENTER THE PROPERTY PRIOR TO 7:00 am with timely deliveries occurring solely at the rear entrance.
8. The outdoor patio and contiguous lawn and garden area may be used on a limited basis to conduct wedding vows, photographs, and similar activities. Such outdoor spaces may also be used for limited cocktail/hors d'oeuvres services offered in connection with the wedding ceremony or similar limited activities. Such outdoor spaces may further be used for limited appropriate musical accompaniment for wedding vows and similar activities. The outdoor spaces may not be used for sit-down dinner service **except as described in item 6**. In all events, use of the outdoor spaces for any patron services shall terminate no later than one-half of one hour after sundown **except as described in item 6**. All

activities at the Premises regardless of whether they occur indoors or outdoors must comply with Chapter 75 (Noise) and its penalties for offenses set forth in Section 75-9. Notwithstanding Section 75-9 allowing for issuance of a warning citation on a first offense conviction, the Applicant waives its rights to such a reduced first offense conviction penalty and acquiesces to any first offense conviction being treated as a second offense upon conviction. Further, the Applicant will post courtesy signs in the southeastern portion of the premises reminding patrons that the restaurant is located in a residential area.

9. All music and/or other entertainment activities shall cease at the Premises no later than 12:00 am, except that such activities may continue until 2:00 am on New Year's Day, all in accordance with Chapter 49 (Curfew, Restaurant and Cabaret) and its penalties for offenses set forth in Section 49-2.
10. At all times, the Applicant shall possess and maintain all necessary municipal, county, and state licenses, permits, certificates and approvals required to conduct the contemplated lawful activities at the Premises. In addition, at all times, the Applicant shall, consistent with its representations, operate the permitted restaurant/catering and related activities giving due regard to the rights of its residential neighbors to peaceful and quiet enjoyment of their property. The Applicant also will post signs in the employee changing areas (consistent with the sign attached as Exhibit E) reminding employees of appropriate behavior after work in the parking lot. Further, the Applicant shall undertake quarterly review and training to ensure that the employees know and abide by the above conditions.
11. This Special Use Permit is granted to the Applicant and does not run with the land, nor shall this Special Use Permit be assigned or transferred to any other individual or entity without the prior written approval of the Town Board of the Town of Pound Ridge.
12. Should the Applicant desire to engage in any other activities not specifically permitted hereby, the Applicant may request that the Town Board of the Town of Pound Ridge amend or modify this Special Use Permit.
13. Violation of any of the terms or conditions of the Special Use Permit or of any applicable provision(s) of the Town Code may cause the Town Board of the Town of Pound Ridge to amend, modify or revoke this Special Use Permit.
14. Notwithstanding the above, the Town reserves its police power and rights to enforce the terms of this special use permit, impose appropriate and reasonable monetary sanctions for any violations thereof, or otherwise prohibit any conduct,

action, practice or event that, in the Town's discretion, threatens the safety, health or welfare of the Town, its residents or the public (a "Default Event"). The Town shall provide the Applicant with written notice of any Default Event and the opportunity to be promptly heard to address and resolve same. The Town's written notice of any Default Event shall include specifics of the Default Event, including but not limited to date, time, location, and persons involved, if known, and shall specify how the Default Event threatens the safety, health, or welfare of the Town, its residents, or the public. Upon receipt of the Town's written notice of any Default Event, the Applicant has 30 days to respond in writing and be heard. Monetary sanctions will not be imposed by the Town upon resolution of the Default Event by the Applicant to the satisfaction of the town.

15. This Special Use Permit is issued to KKPR LLC as fee owner and Jean-Georges of Pound Ridge LLC as the operating entity of the business and activities hereby permitted.

D. Sustainability Committee – Appointment of Bill Hewitt

RESOLUTION 167-25

Board Action: Motion by Councilperson Paschkes, seconded by Councilperson Briggs, all voting aye on the following:

RESOLVED, that the Town Board hereby appoints Bill Hewitt as a member of the Sustainability Committee through 2025.

E. Westchester Power – CCA Municipal Attestation

RESOLUTION 168-25

Board Action: Motion by Councilperson Boak, seconded by Councilperson Briggs, all voting aye on the following:

RESOLVED, that the Town Board hereby authorizes the Supervisor to sign the Community Choice Aggregation Municipal Attestation of Program Requirements.

IV. FINANCIAL MATTERS – Pay bills

RESOLUTION 169-25

Board Action: Motion by Councilperson Paschkes, seconded by Councilperson Boak, the motion passing 4–0 with Councilperson Schelling abstaining, on the following:

RESOLVED, that the Town Board hereby authorizes the Supervisor to pay the following claims as detailed in Abstract 13-2024:

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POUND RIDGE, NY
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Fund	Claim Numbers	Total Amount
General Fund	A00587–A00660	\$33,138.53
Highway Fund	D00137–D00148	\$6,174.72
Trusts and Agency	AT00051	\$7,350.00

V. ADJOURNMENT: There being no further business to come before the Town Board, Supervisor Hansan adjourned the meeting at 8:56 pm.

Erin Trostle, Town Clerk
Dated at Pound Ridge, New York
July 10, 2025

DRAFT



July 1, 2025

Town of Pound Ridge
Attn: Planning Board & Water Control Commission
179 Westchester Avenue
Pound Ridge, NY 10576

Re: New Cingular Wireless PCS, LLC ("AT&T") building permit application
("Application") for equipment upgrades at the existing wireless telecommunications
facility ("Facility") located at 29 Adams Lane, Pound Ridge (Town of Pound Ridge).
AT&T FA# 10107440; 2191A1HEE5; POUND RIDGE – TRINITY PASS

To whom it may concern,

AT&T is seeking to perform equipment upgrades to the above-referenced existing telecommunications Facility. We are submitting this application as an eligible facilities request under Section 6409, referenced below. Please find enclosed the following documents in support of our application to obtain the building permit:

1. Planning Board Site Plan Review and Application
2. Excerpt from the FCC Order regarding 6409
3. AT&T Letter of Authorization
4. Short Environmental Assessment Form
5. Signed and Stamped Construction Drawings

Section 6409 of the Federal Middle Class Tax Relief and Job Creation Act ("Section 6409") was adopted in 2012. Under Section 6409, your city retains discretionary zoning review over the construction of *new* towers, but simple collocations and/or equipment upgrades at existing telecommunications facilities must be approved. The new law provides that:

"a State or local government may not deny, and **shall approve**, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station."
(Emphasis added.)



The federal law defines an “eligible facilities request” as “(A) **collocation of new transmission equipment**; (B) **removal of transmission equipment**; or (C) **replacement of transmission equipment**.” (Emphasis added.)

Also, the Federal Communications Commission issued a Wireless Infrastructure Report and Order on October 17, 2014 (“FCC Order”) which established regulations that clarify and streamline the municipal approval process for eligible facilities requests under Section 6409. A copy of the FCC Order is enclosed herewith.

The FCC Order clarifies that municipal review of an eligible facilities request is **limited to determining whether the request falls within Section 6409:**

“a State or local government may require the applicant to provide documentation or information **only to the extent reasonably related to determining whether the request meets the requirements of this section** [Section 6409]. A State or local government **may not require an applicant to submit any other documentation**, including but not limited to documentation intended to illustrate the need for such wireless facilities or to justify the business decision to modify such wireless facilities.”⁴⁷ C.F.R. 1.40001(c)(1) (Emphasis added).

The FCC Order also specifies that the term “base station” includes any structure that “supports or houses” communications equipment. Since this structure already supports communications equipment, it is considered a “base station” under Section 6409

AT&T’s Application is an Eligible Facilities Request under Section 6409

AT&T’s application qualifies as an eligible facilities request under Section 6409 because the proposed installation involves “a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station.”

AT&T’s current facility consists of

SECTOR	EXISTING ANTENNA MANUF/MODEL	FINAL ANTENNA MANUF/MODEL	ANTENNA SF	QUANTITY	STATUS	RAD CENTER	FINAL RRH MANUF/MODEL	QUANTITY	FINAL DC MANUF/MODEL	QUANTITY	MOUNT RAD CENTER	CABLE LENGTH (FT)	CABLE TYPE		
A1	ANDREW DBXLH-6565A-R2M	COMMSCOPE NNHH-65A-R4	7.5	1	RELOCATED	111'-0"	ERICSSON 4490 B5/B12A	1	(1) RAYCAP DC6-48-60-18-8F	1	110'-4"	150	(2) RFFT-36SM-001-60M FIBER TRUNKS, (4) #8AWG DC POWER TRUNKS AND (12) LDF6 COAX CABLES ON SITE		
A2	COMMSCOPE NNHH-65A-R4	COMMSCOPE NNHH-65A-R4	7.5	1	EXISTING	111'-0"	-	-							
A3	-	COMMSCOPE NNH4-65A-R6H4	8.0	1	REPLACED	111'-0"	ERICSSON 4494 B14/B29 & ERICSSON 4890 B25/B66	2							
A4	COMMSCOPE NNHH-65A-R4	-	-	-	-	-	-	-							
B1	ANDREW DBXLH-6565A-R2M	COMMSCOPE NNHH-65A-R4	7.5	1	RELOCATED	111'-0"	ERICSSON 4490 B5/B12A	1	(1) RAYCAP DC6-48-60-18-8F	1	110'-4"	150		(2) RFFT-36SM-001-60M FIBER TRUNKS, (4) #8AWG DC POWER TRUNKS AND (12) LDF6 COAX CABLES ON SITE	
B2	COMMSCOPE NNHH-65A-R4	COMMSCOPE NNHH-65A-R4	7.5	1	EXISTING	111'-0"	-	-							
B3	-	COMMSCOPE NNH4-65A-R6H4	8.0	1	REPLACED	111'-0"	ERICSSON 4494 B14/B29 & ERICSSON 4890 B25/B66	2							
B4	COMMSCOPE NNHH-65A-R4	-	-	-	-	-	-	-							
C1	ANDREW DBXLH-6565A-R2M	COMMSCOPE NNHH-65A-R4	7.5	1	RELOCATED	111'-0"	ERICSSON 4490 B5/B12A	1	-	1	110'-4"	150			(2) RFFT-36SM-001-60M FIBER TRUNKS, (4) #8AWG DC POWER TRUNKS AND (12) LDF6 COAX CABLES ON SITE
C2	COMMSCOPE NNHH-65A-R4	COMMSCOPE NNHH-65A-R4	7.5	1	EXISTING	111'-0"	-	-							
C3	-	COMMSCOPE NNH4-65A-R6H4	8.0	1	REPLACED	111'-0"	ERICSSON 4494 B14/B29 & ERICSSON 4890 B25/B66	2							
C4	COMMSCOPE NNHH-65A-R4	-	-	-	-	-	-	-							
NOTES: 1. INFORMATION BASED ON RFDS REVISION TBD, DATED TBD. CONTRACTOR TO VERIFY LATEST RFDS WITH RF ENGINEER. 2. ANTENNA CENTERLINE HEIGHT VERIFIED IN FIELD. 3. EXISTING COAX TO BE REMOVED UPON REQUEST. 4. ALL RRUS TO HAVE UP CONVERSION TO -58V.															

As shown on the plans prepared by KMB Design Group dated May 14th, 2025. AT&T's proposed installation consist principally of the following elements:

SECTOR	EXISTING ANTENNA MANUF/MODEL	FINAL ANTENNA MANUF/MODEL	ANTENNA SF	QUANTITY	STATUS	RAD CENTER	FINAL RRH MANUF/MODEL	QUANTITY	FINAL DC MANUF/MODEL	QUANTITY	MOUNT RAD CENTER	CABLE LENGTH (FT)	CABLE TYPE		
A1	ANDREW DBXLH-6565A-R2M	COMMSCOPE NNHH-65A-R4	7.5	1	RELOCATED	111'-0"	ERICSSON 4490 B5/B12A	1	(1) RAYCAP DC6-48-60-18-8F	1	110'-4"	150	(2) RFFT-36SM-001-60M FIBER TRUNKS, (4) #8AWG DC POWER TRUNKS AND (12) LDF6 COAX CABLES ON SITE		
A2	COMMSCOPE NNHH-65A-R4	COMMSCOPE NNHH-65A-R4	7.5	1	EXISTING	111'-0"	-	-							
A3	-	COMMSCOPE NNH4-65A-R6H4	8.0	1	REPLACED	111'-0"	ERICSSON 4494 B14/B29 & ERICSSON 4890 B25/B66	2							
A4	COMMSCOPE NNHH-65A-R4	-	-	-	-	-	-	-							
B1	ANDREW DBXLH-6565A-R2M	COMMSCOPE NNHH-65A-R4	7.5	1	RELOCATED	111'-0"	ERICSSON 4490 B5/B12A	1	(1) RAYCAP DC6-48-60-18-8F	1	110'-4"	150		(2) RFFT-36SM-001-60M FIBER TRUNKS, (4) #8AWG DC POWER TRUNKS AND (12) LDF6 COAX CABLES ON SITE	
B2	COMMSCOPE NNHH-65A-R4	COMMSCOPE NNHH-65A-R4	7.5	1	EXISTING	111'-0"	-	-							
B3	-	COMMSCOPE NNH4-65A-R6H4	8.0	1	REPLACED	111'-0"	ERICSSON 4494 B14/B29 & ERICSSON 4890 B25/B66	2							
B4	COMMSCOPE NNHH-65A-R4	-	-	-	-	-	-	-							
C1	ANDREW DBXLH-6565A-R2M	COMMSCOPE NNHH-65A-R4	7.5	1	RELOCATED	111'-0"	ERICSSON 4490 B5/B12A	1	-	1	110'-4"	150			(2) RFFT-36SM-001-60M FIBER TRUNKS, (4) #8AWG DC POWER TRUNKS AND (12) LDF6 COAX CABLES ON SITE
C2	COMMSCOPE NNHH-65A-R4	COMMSCOPE NNHH-65A-R4	7.5	1	EXISTING	111'-0"	-	-							
C3	-	COMMSCOPE NNH4-65A-R6H4	8.0	1	REPLACED	111'-0"	ERICSSON 4494 B14/B29 & ERICSSON 4890 B25/B66	2							
C4	COMMSCOPE NNHH-65A-R4	-	-	-	-	-	-	-							
NOTES: 1. INFORMATION BASED ON RFDS REVISION TBD, DATED TBD. CONTRACTOR TO VERIFY LATEST RFDS WITH RF ENGINEER. 2. ANTENNA CENTERLINE HEIGHT VERIFIED IN FIELD. 3. EXISTING COAX TO BE REMOVED UPON REQUEST. 4. ALL RRUS TO HAVE UP CONVERSION TO -58V.															

Accordingly, AT&T's installation involves **the replacement of transmission equipment that will not increase the height of the tower nor the dimensions of the equipment compound.** As a result, the installation “does not substantially change the physical dimensions of such tower or base station.” Therefore, these proposed equipment upgrades constitute an “eligible facilities request” under Section 6409, and must be approved.

Timeline for Review and Approval

We would like to highlight an important timing requirement for processing this application. The FCC Order determined that **a municipality must act on an eligible facilities request within**



sixty (60) days of receiving the application. 47 C.F.R. 1.40001(c)(2) (Emphasis added). (Note, the sixty (60)-day period is also known as the “Shot Clock”). Thus, the city must approve this application within sixty (60) days of its receipt. The FCC Order provides that upon a municipality’s failure to act prior to expiration of the Shot Clock, the **“request shall be deemed granted”** and AT&T will be legally entitled to proceed with construction. 47 C.F.R. 1.40001(c)(4) (Emphasis added).

Note that the FCC Order does allow the Shot Clock to be tolled if an application is incomplete. However, in order to do so, a municipality must provide written notice that the application is incomplete within thirty (30) days of the submittal. 47 C.F.R. 1.40001(c)(3)(i). The notice must “clearly and specifically” describe the missing documents or information, 47 C.F.R. 1.40001(c)(3)(i), and, as previously mentioned, such documentation must be necessary to the determination of whether the application qualifies as an eligible facilities request. If the municipality requests additional information after the first thirty (30) days have passed, we will still provide any “reasonably related” information allowed under the FCC Order, but the Shot Clock will not be tolled.

In light of the foregoing, AT&T respectfully requests that its proposed equipment upgrades be approved.

In the meantime, if you have any questions, please feel free to call or email me. Thank you for your cooperation.

Sincerely,

Alexis Engelhardt

Sr. Specialist, Wireless

Office: 518-306-1711 x 1038

Mobile: 973-928-9018

[*aengelhardt@airosmithdevelopment.com*](mailto:aengelhardt@airosmithdevelopment.com)

318 West Avenue, Saratoga Springs, NY 12866

Town of Pound Ridge
Planning Board
Commercial Site Plan Review & Application Process

Check type of review:

- ☐ New construction
- ☐ Revised Site Plan/Change of Footprint ☐ Change of use (whether it's the same owner or new owner)
- ☐ Land disturbance ☐ Other, explain: _____

Address of Property: _____

Name of Owner: _____

Phone: _____ Cell: _____ E-mail: _____

Signature of Owner: _____ **Date:** _____

By signing this application, the owner authorizes the Planning Board and any member of other Town Boards or Commissions, as well as it's agents, consultants or employees the right to enter the premises for the purpose of gathering information pertinent to the application.

Name of Applicant (*if other than owner*): _____

Mailing Address: _____

Phone: _____ Cell: _____ E-mail: _____

Signature of Applicant: _____ **Date:** _____

(Submit a letter of authorization from the owner on their behalf.)

Name of Registered Engineer/Architect: _____

Phone: _____ Cell: _____ E-mail: _____

IDENTIFICATION OF PROPERTY

Block/Lot: _____ Zoning District: _____ Area (in acres): _____

Description of Project:

Commercial Site Plan Approval Process

When is Commercial Site Plan Approval required?

1. To develop a parcel of land for business purposes in any of the Town's Business Districts (the "Planned Business" districts: PB-A, PB-B, and PB-C).
2. For an addition to an existing building in a Business District.
3. For improvements to a non-conforming business use in a residential district, which approval is generally subject to the same zoning standards as for conforming uses in Business Districts.
4. For any land disturbance within the Business Districts.
5. For a change of use in the Business District. Different uses require different levels of code review, setback requirements, septic, water, parking requirements, noise and lighting restrictions, which is why a change of use must be reviewed. Some uses are permitted in the Business Districts subject to the approval of a special permit issued by the Town Board.
6. If you wish to occupy a building without added construction, you should still follow the procedure to obtain a "Certificate of Compliance".

All site plan approvals come from the Planning Board who follow the procedures set forth in the Town's Code (townofpoundridge.com "Town Code"). The Planning Board has jurisdiction to review any architectural features within the Business Districts. The Building Inspector also reviews any site plan application carefully, and his recommendations are included in any approval issued by the Planning Board. Activities such as disturbance, excavation or filling within the wetlands regulated area are subject to approval by the Water Control Commission.

Process:

- 1) Submit a complete Application by 1pm, 2 weeks before the monthly public meeting. All meetings are open to the public.
 - a. Upon receipt, the Planning Board Administrator will notify neighbors within 500' (1,000' for subdivisions) of the property & confirm taxes are paid to date for the property.
- 2) Applicant presents to the Planning Board at a public meeting.
- 3) The Planning Board will conduct a site visit before an applicant's 2nd meeting.
- 4) Additional information & revisions are submitted, as needed.
- 5) Planning Board approval can be granted at the 2nd meeting.

The Planning Board typically meets on the 4th Thursday of each month at 7pm.

Contact Christeen, PB Administrator, at cdur@townofpoundridge.com or 914.764.3982 to confirm the date, time & format (in -person, via Zoom, hybrid) of monthly meetings.

All meeting information is also available on the monthly calendar at

<https://www.TownofPoundRidge.com>

CHECKLIST

Applications Include:

- **Signed Application Form- 10 copies**
- **Completed Code Conformance Worksheet (“CCW”) - 10 copies (The CCW does not apply in PB-A, B and C but can be used for informational purposes. It DOES apply to commercial users in residential zone districts.)**
- **Completed Short Environmental Assessment Form - 10 copies**
 - Utilize the DEC’s EAF Mapper to automatically complete parts of the EAF & identify if there are potential environmental & cultural concerns on a site. [EAF Mapper \(ny.gov\)](http://EAFMapper.ny.gov)
 - *Detailed Mapper Instructions:* <https://gisservices.dec.ny.gov/EAFhelp>
- **Westchester County Health Dept. approval & approvals of any other boards- 1 copy**
Water Control Commission , Zoning Board of Appeals, NYSDEC, NYSDOT.
- **Submit 10 copies, (4 full-sized copies folded to no larger than 9” x 12,” and 6 reduced copies) of the Site Plan and elevations of any proposed structures, to the Planning Office by 1pm 2 weeks prior to the meeting to Christeen at the Town House.**
- **Submit 1 digital application package as a PDF to cdur@townofpoundridge.com.**
- **Application fee of \$250 made payable to the Town of Pound Ridge**
- **Escrow Fee - \$4,000 made payable to the Town of Pound Ridge**
 - An escrow account must be established in order to compensate the Town Engineer and Planning Board counsel, if needed, for services during the review. Any unused funds will be returned to the applicant. If the costs exceed this amount, the applicant will need to replenish the account.
- **Proposed Exterior Photometric Lighting Plan- type, height, design, direction, shielding & location**
- **Proposed Signage Plan including location, type, design, mounting height, size, color and illumination.**
- **Hours of Operation**
- **Detailed landscaping plan, including type, size and location**
- **Construction plans of proposed retaining walls, steps, ramps, paving and drainage “structures”**
- **Elevations of proposed structures, Proposed Floor plan & basement elevations, finished grades of walls, pavements & storm drains.**
- **Site Plan should include:**
 - Location of all existing and proposed buildings and other structures, retaining walls, stone walls, fences, rock outcroppings and wooded areas
 - Outline and elevations of the pavement abutting streets and proposed means of vehicular and pedestrian access to and from the site.
 - Location and layout of proposed off-street parking and loading spaces
 - Location of required setback lines
 - Location of trees with a diameter of six inches or more within area of construction
 - Location of septic system, expansion area and wells
 - Location of all proposed site improvements
 - Names of adjoining property owners, Footprints of all structures on adjacent lots
 - Slopes over 25%
 - Wetlands and 150’ wetland setbacks, both onsite and offsite
 - Stormwater runoff features
 - Vicinity map
 - Title, date, revisions dates, North arrow, scale, name and address of owner, engineer, architect, landscape architect or surveyor preparing the plan
 - Block and Lot numbers of subject property and adjoining parcels
 - Conditions specified by the Zoning Board of Appeals, Planning Board, Water Control Commission or Town Board in the approval of any variance or special permit related to the subject property



LETTER OF AUTHORIZATION

Date: July 10, 2018

RE: New Cingular Wireless PCS, LLC ("AT&T Mobility")
Letter of Agency
Airosmith Development

To Whom It May Concern:

On behalf of AT&T Mobility, this Letter of Agency provides written approval that Airosmith Development, its agents, employees and contractors are authorized to work on behalf of AT&T. Such work may include but is not limited to, negotiating leases with potential site owners and applying for all necessary permits or any other approvals, including, but not limited to the filing of building permit applications which are necessary for the erection of a wireless telecommunications facility.

Thank you,

Signed

Robert Minnick

Robert Minnick
Construction & Engineering
AT&T Mobility UNY

cc: Jon Terry – Airosmith Development

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

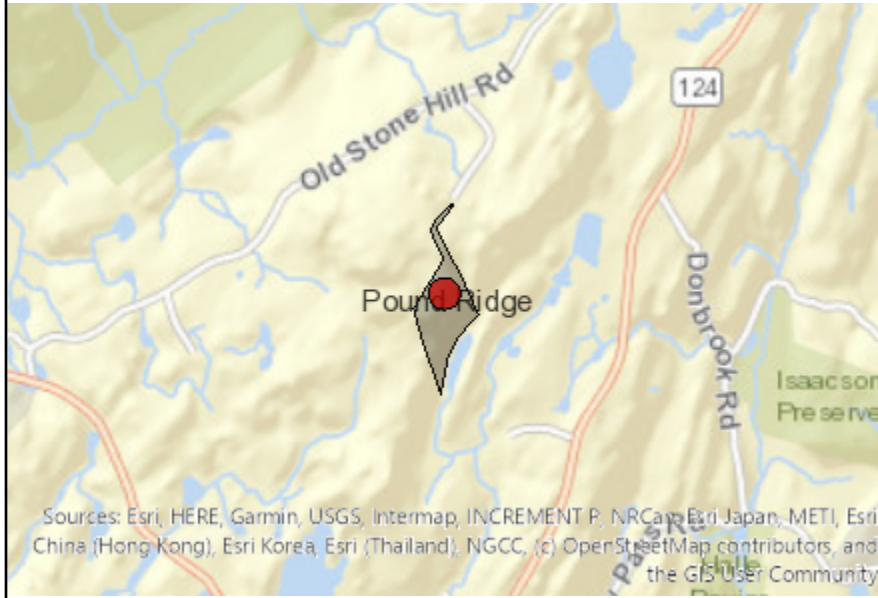
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: New Cingular Wireless PCS, LLC (AT&T Wireless)			
Project Location (describe, and attach a location map): 29 Adams Lane, Pound Ridge NY 10575			
Brief Description of Proposed Action: Commerical Site Plan Review & Application with the Planning Board for AT&T's existing wireless facility located on an existing monopole			
Name of Applicant or Sponsor: New Cingular Wireless PCS, LLC ("AT&T") (c/o Alexis Engelhardt)		Telephone: 973-928-9018 E-Mail: aengelhardt@airosmithdevelopment.com	
Address: 318 West Avenue			
City/PO: Saratoga Springs		State: NY	Zip Code: 12866
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<div style="display: flex; justify-content: space-between;"> NO YES </div> <div style="display: flex; justify-content: space-between;"> <input checked="" type="checkbox"/> <input type="checkbox"/> </div>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Pound Ridge Building Department			<div style="display: flex; justify-content: space-between;"> NO YES </div> <div style="display: flex; justify-content: space-between;"> <input type="checkbox"/> <input checked="" type="checkbox"/> </div>
3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action: 5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

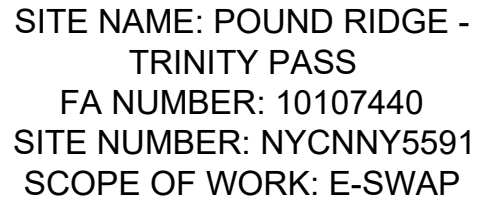
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Bog Turtle	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <div style="margin-left: 20px;"> a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? </div> If Yes, briefly describe: <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: _____ Date: _____</p> <p>Signature: _____ Title: _____</p>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Bog Turtle
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



11x17 SCALE: 1" = 200' 24x36 SCALE: 1" = 100'

SITE ADDRESS: ADAMS LANE
POUND RIDGE, NY 10576
WESTCHESTER COUNTY

PROPERTY OWNER:
NEW YORK SMSA LIMITED PARTNERSHIP
D/B/A VERIZON WIRELESS

TOWER OWNER:
AMERICAN TOWER
SITE ID #: POUNDRIDGE NY / 413118

SECTION: 22
BLOCK: 9817
LOT: 41.9-5
ZONE:
JURISDICTION: TOWN OF POUND RIDGE

COORDINATES:
LATITUDE: N 41° 12' 54.00" (NAD 83)
LONGITUDE: W 73° 34' 10.76" (NAD 83)
GROUND ELEVATION: ±770' AMSL
STRUCTURE HEIGHT: ±174'-4" AGL (TOP OF YAGI ANTENNA)

APPLICANT:
NEW CINGULAR WIRELESS PCS, LLC (d/b/a/ AT&T)
1425 US HWY 206, SUITE #N2C04A
BEDMINSTER, NJ 07921

ENGINEER:
KMB DESIGN GROUP, LLC
1800 ROUTE 34, SUITE 209
WALL, NJ 07719
PROJECT MANAGER: JENNA ESPOSITO (732) 280-5623

AT&T CONTACTS:
CONSTRUCTION MANAGER:
RF ENGINEER:

UTILITY CONTACT:
PSE&G
1 (800) 436-7734

TELCO CONTACT:

These documents are in compliance & all construction to be in accordance with the following codes & standards as applicable:











- 2020 Building Code of New York State
- 2020 Residential Code of New York State
- 2020 Existing Building Code of New York State
- 2020 Fire Code of New York State
- 2020 Plumbing Code of New York State
- 2020 Mechanical Code of New York State
- 2020 Fuel Gas Code of New York State
- 2020 Energy Conservation Construction Code of New York State
- 2020 Property Maintenance Code of New York State
- 2017 Uniform Code Supplement of New York State
- 2017 National Electrical Code of New York State

DRAWING INDEX	
DWG #	DRAWING TITLES
A01	COVER SHEET
C01	GENERAL NOTES
C02	COMPOUND PLAN
C02A	ELEVATION
C03	EQUIPMENT PLANS
C03A	EQUIPMENT & ANTENNA SPECIFICATIONS
C04	ANTENNA PLANS (ALL SECTORS)
C04A	ANTENNA MOUNT DETAILS (ALL SECTORS)
C05	ANTENNA & CABLE SCHEDULE
C06	ANTENNA PAINT SPECIFICATIONS
E01	GENERAL INFORMATION
E02	ELECTRICAL & GROUNDING DETAILS
E03	GROUNDING ONE LINE DIAGRAM (ALL SECTORS)
E04	POWER CALCULATIONS
E05	RETROFIT KIT

ERICSSON SWAP MODERNIZATION:
REMOVE:(3) COMMSCOPE DBXLH-6565A-R2M ANTENNAS
REMOVE: ALL NOKIA EQUIPMENT
REUSE:(6) COMMSCOPE NNHH-65A-R4 ANTENNAS
INSTALL:(3) ERICSSON 4490 B5/B12A RRR UNITS
INSTALL:(3) COMMSCOPE NNH4-65A-R6H4 ANTENNAS
INSTALL:(3) ERICSSON 4494 B14/B29 RRR UNITS
INSTALL:(3) ERICSSON 4890 B25/B66 RRR UNITS

WARM SWAP
REMOVE: (1) ARGUS 24V POWER PLANT (INCLUDING 4 RECTIFIERS)
REMOVE: (2) -48V ALPHA/ARGUS DCP03 300A (INCLUDING 4 CONVERTERS)
REMOVE: (1) 24V BATTERY RACK
REMOVE: (4) EAST PENN DEKA FAHRENHEIT 170ET (STRING 1&2)
REMOVE: (2) RETIRED GSM CABINETS & ALL ASSOCIATED EQUIPMENT
REMOVE: (1) RETIRED UMTS CABINET & ALL ASSOCIATED EQUIPMENT
INSTALL: (1) VERTIV STD -48VDC NETSURE 7100 PLANT 1000A W -58V CONVERSION
INSTALL: (6) VERTIV 512/5100/721/7100 -48VTO-58V 2KW CONVERTERS
INSTALL: (7) VERTIV -48VDC R48-2000E3 RECTIFIERS
CONVERT: (12) EXISTING EAST PENN DEKA FAHRENHEIT 170ET BATTERIES TO -48V
INSTALL: (1) ERICSSON 6672 IN FIF RACK
INSTALL: (1) ERICSSON 6610 IN FIF RACK (WIRE TO EXISTING FUSE BLOCK DCP03)
INSTALL:(1) COMMSCOPE 48/24 CONV (NID)
EXISTING: VERIZON CANOGA 9145E-304, 24V NID IN FIF RACK
EXISTING: D2 SIAD ON -48 VDC IN FIF RACK
NOTE: NO GENERATOR ON SITE
NOTE: NO DAC ON SITE, 32.4 GALLONS OF ELECTROLYTES
NOTE: ALL RRUS TO HAVE UP CONVERSION TO -58V



				
				
				
				
				
				
				
				
	05-14-25	ISSUED FOR PERMIT FILING	TWS	JES
	04-23-25	INITIAL SUBMISSION NOT FOR CONSTRUCTION	AAB	JES
REV.	DATE	REVISION DESCRIPTION	DRAWN BY	CHKD. BY



N.Y. CERTIFICATE OF AUTHORIZATION: 081784



Stephen A. Bray

PROFESSIONAL ENGINEER
EXPIRATION DATE: 06/30/25
NY LICENSE: 086064 5/14/25

PROJECT NUMBER:
331.7767.L08

SITE INFORMATION:

ADAMS LANE
POUND RIDGE, NY 10576
WESTCHESTER COUNTY

FA #: 10107440

DESIGN TYPE: CO-LOCATION

SHEET TITLE:

COVER
SHEET

SHEET NUMBER:	REV.:
A01	B

GENERAL CONSTRUCTION NOTES:

- This set of plans has been prepared for the purposes of municipal and agency review and approval. This set of plans shall not be utilized as construction documents until all drawings have been revised to indicate "ISSUED FOR CONSTRUCTION." Contractor shall e-mail plans@kmbdg.com to ensure that they have the latest set of construction drawings prior to commencing any work whatsoever.
- ADA compliance: The facility is a normally unoccupied mobile radio facility.
- These plans are intended to be used to direct the proposed layout. Drawings should not be scaled unless otherwise noted. Plans, elevations and details are intended to show the end result of design. Minor modifications may be required to suit job dimensions or conditions.
- The contractor shall verify all dimensions and conditions and notify the Project Manager of any discrepancies before starting any work.
- The client and Contractor(s) attention is hereby brought to existing site conditions which need to be field verified prior to construction. KMB Design Group, LLC. does not take any liability for areas that are not readily accessible by field personnel walking on the roof or at grade level during the site visit. Such conditions include but are not limited to elevated structures out of reach while standing on the roof, finished floor, or grade level, elevated structures above grade, building facades, structures mounted on building facades, windows, lower structures, etc. If not requested by the client and supplied to the Contractor, the Contractor shall include within their bid to obtain mapping information for any inaccessible areas which are included as part of this design drawing package to ensure all existing conditions are verified prior to construction and shall relay all findings to KMB prior to construction for our review. Such findings may require drawings to be modified prior to construction.
- These plans are designed to reflect observed field conditions. Certain conditions are assumed to comply with general standard construction design methods and principles, and the Contractor shall note that not all areas of structural attachment have been opened or specifically verified. The Contractor is therefore requested to notify the Engineer immediately should encountered field conditions vary from those depicted on the drawings. KMB Design Group, LLC will issue field change direction if required. The Project Manager is referenced on the cover sheet.
- All equipment and materials shall be installed in accordance with the manufacturer's recommendations unless otherwise noted by the Engineer of Record.
- The Contractor shall be responsible for all work performed and materials installed to be in strict conformance, as a minimum standard, with all applicable codes, regulations and ordinances having jurisdiction. Electrical systems shall be installed in conformance with the National Electrical Code, and all other local and state jurisdictional codes, ordinances, and with local utility company specifications, whichever is more stringent.
- The Contractor shall keep contract area clean, hazard free and dispose of all dirt, stumps, stones, rubbish or debris in accordance with all local and environmental laws. No materials or equipment shall be placed anywhere on or in the structure without making adequate provisions to protect existing property. Upon completion, repair any damage that may have occurred during construction. Repair all existing wall surfaces damaged during construction such that they match and blend with adjacent surfaces.
- The Contractor shall be solely responsible and have control over construction means, methods, techniques, sequences, and procedures.

SPECIFICATIONS FOR SIKA TOP 123 PLUS NON SHRINK GENERAL PURPOSE GROUT:

- All non-shrink general-purpose grout shall be installed in accordance with the manufacturer's recommendations.
- The non-shrink general-purpose grout shall be mechanically mixed for a minimum of ten minutes.
- Mix no more grout then can be placed in 10 to 15 minutes.
- Surfaces to receive the grout shall be free of any type of foreign material and bond inhibiting materials. Be sure repair area is not less than 1/8" in depth.
- The substrate shall be saturated surface dry with no standing water. Mortar must be scrubbed into substrate filling all pores and voids.
- Typical properties of the grout shall be as follows:
 - Compressive strength (ASTM C-109 modified)
 - 1 day: 3500 psi min (24.1 mpa)
 - 7 day: 6000 psi min (44.8 mpa)
 - 28 day: 7000 psi min (48.3 mpa)
 - Flexural strength (ASTM C-293) @ 28 days: 2000 psi (13.8 mpa)
 - Splitting tensile strength (ASTM C-496) @ 28 days: 900 psi (6.2 mpa)
 - Bond strength (ASTM C-882 modified) @ 28 days: 2200 psi (15.2 mpa)
 - The Portland cement mortar shall not produce a vapor barrier
 - Density (wet mix): 132 lbs/cu ft (2.2 kg/l)
 - Permeability - AASHTO T-277 @ 28 days: approximately 500 coulombs
- All steel bearing plates and main support steel shall be installed once the grout has been leveled and has been cured for a minimum of 24 hours. The full design equipment load shall be installed after the grout has cured for 48 hours.
- Should the contractor wish to propose an alternative grout and method of working outside these parameters, this must be presented to the Engineer in writing with a full method statement, material data sheet and installation instructions for his/her approval.
- Failure to comply with this specification could seriously affect the stability of the installation.

DIVISION 1 - GENERAL REQUIREMENTS SECTION 01010 SUMMARY OF WORK:

- The Contractor shall review and become familiar with specifications contained in the bid package prepared by KMB Design Group, LLC and the client. The Contractor shall e-mail plans@kmbdg.com to ensure that they have the latest set of construction drawings prior to commencing any work whatsoever.
- In the event of a conflict between the bid package specifications and these notes, the provisions of the clients specifications shall take precedence.
- The Contractor shall visit the site of the proposed work and fully acquaint themselves with the conditions as they exist in order that any restrictions pertaining to the work are understood. All areas and dimensions are indicated on the drawings as accurately as possible, but all conditions shall be verified by each contractor and/or subcontractor at the site. The failure of the contractor to examine or receive any form, instrument or document, or to visit the site shall not relieve the Contractor from any obligation with respect to their quoted price. The submission of a quotation shall acknowledge that the Contractor and their Subcontractors have fully examined the site and know the existing conditions and have made provisions for operating under the conditions as they exist at the site and have included all necessary items.
- The General Contractor's responsibilities shall include, but not be limited to, construction of the equipment foundation, including electrical service, telephone conduits, grounding system and coordination with local utility companies.
- The antenna installers responsibilities shall include, but not be limited to, cable tray installation, routing of cables from radio equipment to antennas, associated hardware for securing antenna cables, antenna mounts, determining supplier of antennas, grounding of antennas to grounding system, installing antennas and verifying with Radio Frequency Engineers, the alignment, location, and proper orientation of antennas.
- The Contractors shall coordinate construction activities with the building Landlord in order to avoid conflicts with current use of the site.
- The Owner may have work performed under separate contracts, concurrently, with the work of this contract.
- The General Contractor shall permit access to the project to these contractors to perform their work.
- The Contractor shall conform to all applicable local, county, state, and federal codes, laws and requirements, including OSHA.
- The Contractor shall apply and pay for the construction permit, certificate of occupancy and all other required permits or licenses. The Contractor is responsible for obtaining all inspections.

- Care shall be exercised in protecting the building occupants during the demolition and construction periods of this project. Every effort shall be made to maintain a clean operation. Debris shall not accumulate. All debris will be deposited in a suitable container on a daily basis and shall be emptied on a regular schedule. The location of the container shall be coordinated with the Building Manager.
- Safety procedures: Attention is directed to federal, state, and local laws, rules and regulations concerning construction safety and health standards. The construction company awarded this project shall ensure all working surroundings and conditions are sanitary, and are not hazardous or dangerous to the health or safety of the work crews or building occupants. Precaution shall be exercised at all times for the protection of persons and property. It is mandatory that the safety provisions of applicable local laws, OSHA regulations and building and construction codes, be observed for all contractors and antenna riggers.

SECTION 01613 - DELIVERY, STORAGE AND HANDLING

- The Contractor shall be responsible for all procedures and scheduling associated with hoisting, staging, and erecting of materials and equipment to and/or upon the site.
- All elements of the existing site, i.e. structures, site plantings, etc. shall be protected as necessary from said actions. This work must be done in a safe, secure nondestructive manner for protecting personnel and property.

SECTION 01740 WARRANTIES AND BONDS:

- The Contractor shall guarantee all labor and materials used in this project for a minimum period of one (1) year commencing from the date of final acceptance by the client. The Contractor is not required to guarantee material supplied by the Owner.
- Final date of acceptance is deemed as the date that all required state and federal approval have been obtained including, but not limited to:
 - A. Final inspection
 - B. Certificate of Occupancy
- Any deficiencies that come evident during this one (1) year period shall be corrected by the Contractor at the Contractor's expense.

DIVISION 2 - SITE WORK

- The Contractor shall call utilities prior to the start of construction.
- All existing active sewer, water, gas, electric, and other utilities where encountered in the work, shall be protected at all times, and where required for the proper execution of the work, shall be relocated as directed by Engineers. Extreme caution should be used by the Contractor when excavating or pier drilling around or near utilities. The Contractor shall provide safety training for the working crew. This will include but not limited to:
 - A. Fall protection
 - B. Confined space
 - C. Electrical safety
 - D. Trenching & excavation
- All site work shall be as indicated on the drawing and stipulated in the specification project summary.
- If necessary, rubbish, stumps, debris, sticks, stones, and other refuse shall be removed from the site and disposed of legally.
- The site shall be graded to cause surface water flow away from the equipment shelter and monopole areas.
- No fill or embankment material shall be placed on frozen ground. Frozen materials, snow or ice shall not be placed in any fill or embankment.
- The sub grade shall be compacted and brought to a smooth uniform grade prior to finished surface application.
- All existing inactive sewer, water, gas, electric and other utilities, which interfere with the execution of the work, shall be removed and/or capped, plugged or otherwise discontinued at points which will not interfere with the execution of the work, subject to the approval of engineering.
- The areas of the Owners property disturbed by the work and not covered by the building or driveway, shall be graded to a uniform slope, fertilized, seeded, and covered with mulch as specified in the specification of landscape work.
- The Contractor shall minimize disturbance to existing site during construction. Erosion control measures, shall be in conformance with the local guidelines for erosion and sediment control.
- All back fill shall be compacted to 95% modified proctor density as determined by ASTM standard test procedures.

DIVISION 3 - CONCRETE

- Design and construction of all concrete elements shall conform to the latest editions of the following applicable codes: ACI 301 "Specifications for Structural Concrete for Buildings"; ACI 318 "Building Code Requirements for Reinforced Concrete".
- Mix design shall be approved by Owner's representative prior to placing concrete.
- Concrete shall be normal weight, 6% air entrained (±1.5%) with a maximum 4" slump, and have a minimum 28-day compressive strength of 3000 psi unless otherwise noted.
- Maximum aggregate size shall be 1".
- The following materials shall be used:
 - Portland cement: ASTM C 150, TYPE I
 - Reinforcement: ASTM A 185
 - Normal weight aggregate: ASTM C 33
 - Water: Drinkable
 - Admixtures: Non-chloride containing
- Reinforcing details shall be in accordance with the latest edition of ACI 315.
- Reinforcing steel shall conform to ASTM A 615, grade 60, deformed unless noted otherwise. Welded wire fabric shall conform to ASTM A 185 welded steel wire fabric unless noted otherwise. Splices shall be class "B" and all hooks shall be standard, unless otherwise noted.
- The following minimum concrete cover shall be provided for reinforcing steel unless shown otherwise on drawings:
 - Concrete cast against earth 3"
 - Concrete exposed to earth or weather:
 - #6 and larger 2"
 - #5 and smaller 1 1/2"
 - Concrete not exposed to earth or weather or not cast against the ground:
 - Slab and wall 3/4"
 - Beams and columns 1 1/2"
- A 1" chamfer shall be provided at all exposed edges of concrete, unless otherwise noted, in accordance with ACI 30 section 4.2.4.
- Installation of concrete anchor, shall be per manufacturers written recommended procedure, the anchor bolt, dowel or rod shall conform to manufacturer's recommendation for embedment depth or as shown on the drawing. No rebar shall be cut without prior engineering approval when drilling holes in concrete.
- Curing compounds shall conform to ASTM C-309.
- Admixtures shall conform to the appropriate ASTM standard as referenced in ACI-301.
- Do not weld or tack weld reinforcing steel.
- All dowels, anchor bolts, embedded steel, electrical conduits, pipe sleeves, grounds and all other embedded items and formed details shall be in place before start of concrete placement.
- Locate additional construction joints required to facilitate construction as acceptable to Engineer. Place reinforcement continuously through joint.

- Reinforcement shall be cold bent whenever bending is required.
- Place concrete in a uniform manner to prevent the formation of cold joints and other planes of weakness. Vibrate the concrete to fully embed reinforcing. Do not use vibrators to transport concrete thorough chutes or formwork.
- Do not place concrete in water, ice, or on frozen ground.
- Do not allow concrete sub base to freeze during concrete curing and setting period, or a minimum of 14 days after placement.
- For cold-weather and hot-weather concrete placement, conform to applicable ACI codes and recommendations. In either case, materials containing chloride, calcium, salts, etc. shall not be used. Protect fresh concrete from weather for 7 days minimum.

GENERAL NOTES FOR POST-INSTALLED ANCHORS (HILTI OR APPROVED EQUAL)

EPOXY ANCHOR MOUNTING CHART	
WALL TYPE	METHOD OF ATTACHMENT
CONCRETE	HILTI HIT HY200, MINIMUM EMBEDMENT 6" SPACED 16" ON CENTER UNLESS NOTED OTHERWISE
MASONRY (CMU AND BRICK)	HILTI HIT HY270 WITH SCREEN TUBE, MINIMUM EMBEDMENT 6" SPACED 16" ON CENTER UNLESS NOTED OTHERWISE
THRU-BOLT MOUNTING CHART	
WALL TYPE	BOLT TYPE
CONCRETE/MASONRY	F1554 GRADE 55 THRU- BOLT UNLESS NOTED OTHERWISE

INSTALLER TRAINING

- Installers must be certified through the ACI/CRSI Adhesive Anchor Installer Certification program or equivalent. The General Contractor shall arrange installation training for all post-installed anchor products specified and shall provide the Engineer of Record documentation demonstrating that all personnel responsible for installing anchors are trained prior to the commencement of installing anchors.
- Installers shall be trained on the complete installation process for drilled-in anchors, including but not limited to:
 - A. Hole Drilling Procedure
 - B. Hole Preparation & Cleaning Technique
 - C. Adhesive Injection Technique & Dispenser Training / Maintenance
 - D. Rebar Dowel Preparation and Installation
 - E. Proof Loading/Tensile Tests/Torquing

GENERAL PROCEDURES

Contractor/installer to follow anchor manufacturer specifications and instructions for use, including but not limited to the following general procedures:

- Hole Drilling Procedure
 - A. Drill holes with rotary impact hammer drills using carbide-tipped bits, hollow drill bit system, and/or core drills using diamond core bits. Drill bits shall be of diameters as specified by the anchor manufacturer. Unless otherwise shown on the Drawings, all holes shall be drilled perpendicular to the concrete or masonry surface.
- Hole Preparation & Cleaning
 - A. Holes must be free of debris, dust, water, ice, oil, grease, and other contaminants prior to adhesive injection. Installer to ensure all holes are properly cleaned using compressed air and steel wire brush, following manufacturer specified methods:
 - For blowing out the hole, blow out with oil free air until return air stream is free of noticeable dust.
 - For brushing out the hole, only use specified wire brush. The brush must resist insertion into the hole. If not, brush is too small and must be replaced.
- Cartridge Injection Adhesive Anchors
 - A. Clean all holes per manufacturer instructions to remove loose material and drilling dust prior to installation of adhesive. Inject adhesive into holes proceeding from the bottom of the hole and progressing toward the surface in such a manner as to avoid introduction of air pockets in the adhesive. Follow manufacturer recommendations to ensure proper mixing of adhesive components. Sufficient adhesive shall be injected in the hole to ensure that the annular gap is filled to the surface. Remove excess adhesive from the surface. Shim anchors with suitable device to center the anchor in the hole.
 - B. For hollow masonry applications, contractor to use plastic-mesh screen tubes and inserts, following manufacturer specifications.
 - C. Do not disturb or load anchors before manufacturer specified cure time has elapsed.
 - D. Observe manufacturer recommendations with respect to installation temperatures for cartridge injection adhesive anchors.

POST-INSTALLED ANCHOR SPECIAL INSPECTION













- The General Contractor shall notify the Engineer of Record and Special Inspector of Record when post-installed anchor work is scheduled to be performed to allow on-site inspection during installation.
- The General Contractor shall document their work with photographs and/or video during the installation process demonstrating the above minimum general procedures have been performed, and shall furnish photographs, videos, and/or test reports to the Engineer of Record as part of the Special Inspection review and project close-out process.
- The Contractor is responsible for the compliance with all items noted. Should the Contractor complete post-installed anchor work without notifying the Engineer of Record and Special Inspector of Record to perform on-site inspection, and cannot provide sufficient photographic and/or video evidence of the installation process to the satisfaction of the Engineer of Record and Special Inspector, the Contractor shall retain KMB or a qualified 3rd party testing agency to perform an anchor pull-test. The pull test must be completed in accordance with the site-specific procedure and test parameters provided by KMB. The test may require installation of additional anchors for test purposes only. Passing test results must be submitted to KMB for Special Inspector review prior to resuming construction. This may require the Contractor to remove and re-install anchors and repair adjacent affected anchors, and/or temporarily remove and re-install steel or equipment in order to test the subject anchors. Testing of anchors could result in damage to the masonry which will be the responsibility of the Contractor to repair in accordance with the Division 4 Masonry Notes. All associated costs incurred by KMB for inspection, review, testing and coordination shall be responsibility of the Contractor.

DIVISION 5 - METALS

SECTION 05120 - STRUCTURAL STEEL

- Codes and specifications:
 - A. The fabrication/erection shall conform to the requirements of the following codes and specifications, latest edition, unless otherwise noted:
 - The local building code.
 - AISC 360 specification for structural steel buildings.
 - ASTM A992 structural steel (for all w sections only).
 - ASTM A36 structural steel (all other sections).
 - ASTM A53, type E, grade B, electric resistance welded steel pipe.
 - ASTM 123 zinc (hot-dip galvanized) coatings on iron and steel products.
 - ASTM 153 zinc coated (hot-dip) iron and steel hardware.
 - AWS D1.1 structural welding code.
 - EIA/TIA-222 structural standards for steel antenna towers and antenna supporting structures.

- Design parameters:
 - A. The structural steel antenna mounting frames are designed to provide support for antennas and all hardware and accessories associated with antennas.
- Fabrication and installation requirements:
 - A. The antenna supports, antennas and mounting hardware shall be constructed plumb, level and true.
 - B. All structural elements and fasteners shall be galvanized in accordance with ASTM A123 and A153.
 - C. Welds should be shop made wherever possible, conforming to AISC specification and AWS requirements. All welds are to be of the size and type indicated. Contractor shall employ a licensed welder and shall provide the engineer with their name and a copy of their license prior to commencing any field welding.
 - D. Contractor shall provide fire watch during all welding operations, brazing and soldering and other work requiring the use of an open flame. Two (2) hand held 30 lb fire extinguishers and adequate water supply shall be maintained on site. Fire watch plan shall be submitted to the client for approval prior to welding.
 - E. All bolted connections shall be A325 high strength bolts 5/8" diameter minimum size unless otherwise noted. Bolts shall be supplied with flat washers. Bolts shall be tightened in accordance with the AISC snug tight condition, unless otherwise noted.
 - F. Protective galvanized coatings which were damaged or removed during erection or transportation shall be restored by painting with zinc-rich primer.
 - G. All threaded rods shall be 1/2" diameter A36 steel unless otherwise noted.
 - H. Temporary structures for staging and construction shall be capable of withstanding forces specified by the local building code current edition.
- Inspections:
 - A. All structural steel antenna frames, and connections shall be inspected prior to installation of antennas.
 - B. All antenna cable trays, supports, channels and clamps shall be inspected prior to installation of antenna cables.
 - C. Coordinate all inspections with the client's Construction Manager.
 - D. Contractor to make notifications 72 hours prior to any required inspections.

<div> AT&T</div> <div>ERICSSON </div>				
				
				
				
				
				
				
				
				
	05-14-25	ISSUED FOR PERMIT FILING	TWS	JES
	04-23-25	INITIAL SUBMISSION NOT FOR CONSTRUCTION	AAB	JES
REV.	DATE	REVISION DESCRIPTION	DRAWN BY	CHKD. BY



1. FINAL DESIGN, MOUNTING AND ANY STRUCTURAL REINFORCEMENTS ARE SUBJECT TO THE COMPLETION OF A STRUCTURAL ANALYSIS REPORT BY OTHERS.
2. STRUCTURAL MOUNT ANALYSIS (PASS) PREPARED BY KMB DESIGN GROUP, LLC DATED 05-13-25 CONCLUDES THE EXISTING ANTENNA MOUNTING SYSTEM IS STRUCTURALLY ADEQUATE TO SUPPORT THE PROPOSED ANTENNA CONFIGURATION.

1. CONTRACTOR SHALL REFER TO GENERAL NOTES, GIVING SPECIAL ATTENTION TO NOTE UNDER THE GENERAL CONSTRUCTION NOTES SECTION, PRIOR TO CONSTRUCTION.
2. TOWER MOUNTED ANTENNAS AND ANCILLARY EQUIPMENT NOT SHOWN FOR CLARITY.
3. INFORMATION SHOWN ON THIS DRAWING IS BASED ON AS-BUILT DOCUMENTATION AND PHOTOGRAPHS PROVIDED TO KMB AND HAS NOT BEEN FIELD VERIFIED BY KMB. CONTRACTOR TO FIELD VERIFY PRIOR TO COMMENCING WITH CONSTRUCTION AND NOTIFY ENGINEER OF RECORD WITH ANY DISCREPANCIES.













COMPOUND PLAN

11x17 SCALE: 3/32" = 1'-0"

24x36 SCALE: 3/16" = 1'-0"



				
				
				
				
				
				
				
				
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REV.	DATE	REVISION DESCRIPTION	DRAWN BY	CHKD. BY



N.Y. CERTIFICATE OF AUTHORIZATION: 081784



Stephen A. Bray

PROFESSIONAL ENGINEER
EXPIRATION DATE: 06/30/25
NY LICENSE: 086064

5/14/25

PROJECT NUMBER:

331.7767.L08

SITE INFORMATION

ADAMS LANE
POUND RIDGE, NY 10576
WESTCHESTER COUNTY

FA #: 10107440

DESIGN TYPE:

CO-LOCATION

SHEET TITLE

COMPOUND
PLAN

SHEET NUMBER

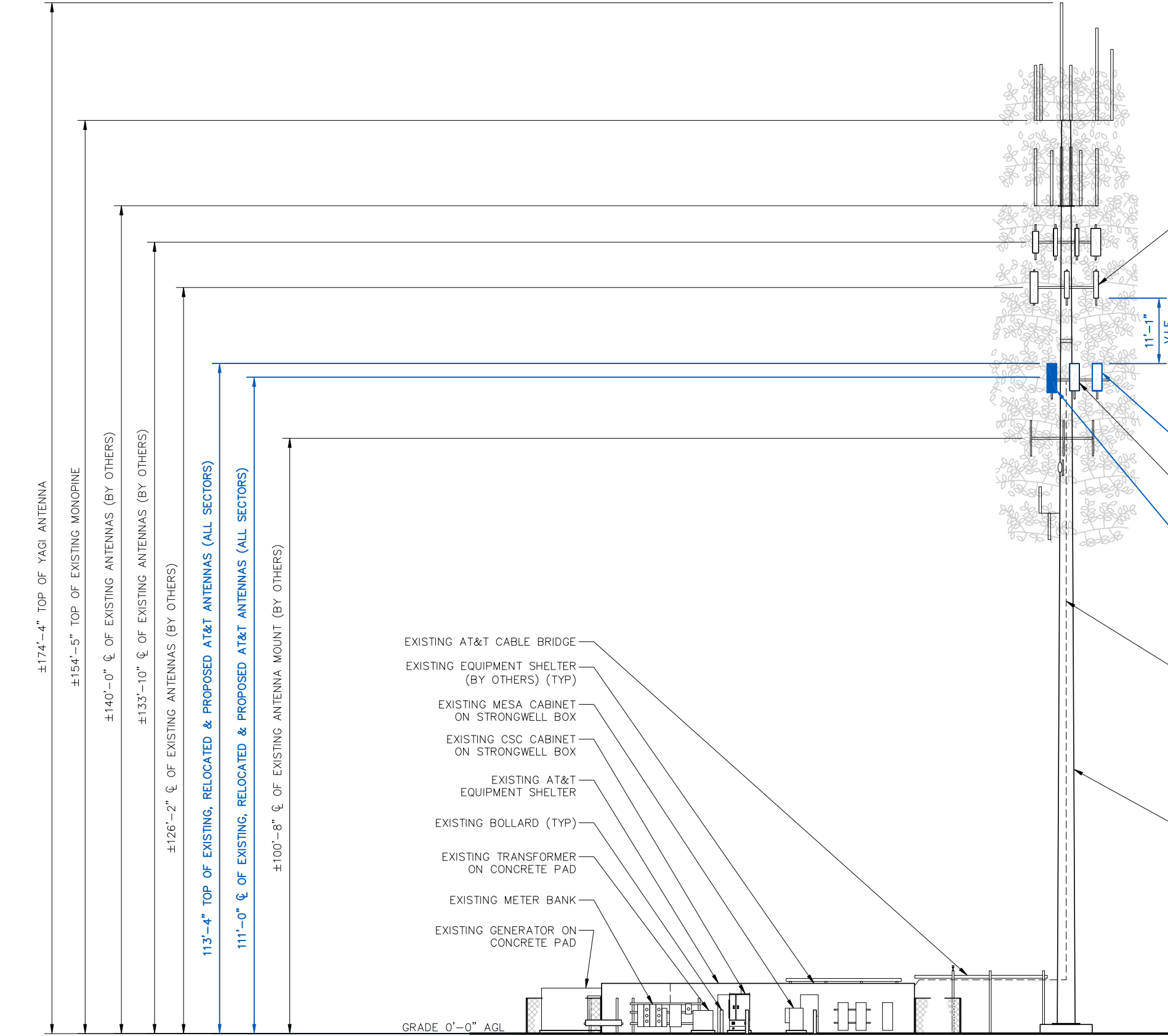
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REV.:

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CRITICAL NOTES:
1. FINAL DESIGN, MOUNTING AND ANY STRUCTURAL REINFORCEMENTS ARE SUBJECT TO THE COMPLETION OF A STRUCTURAL ANALYSIS REPORT BY OTHERS.
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B	05-14-25	ISSUED FOR PERMIT FILING	TWS	JES
A	04-23-25	INITIAL SUBMISSION NOT FOR CONSTRUCTION	AAB	JES
REV.	DATE	REVISION DESCRIPTION	DRAWN BY	CHKD. BY



N.Y. CERTIFICATE OF AUTHORIZATION: 081784

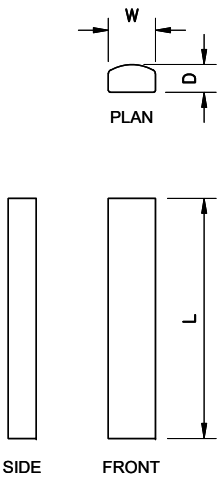
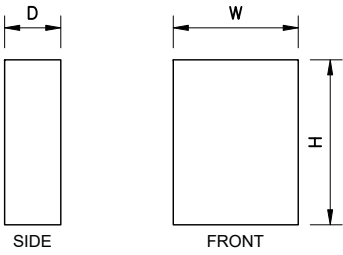
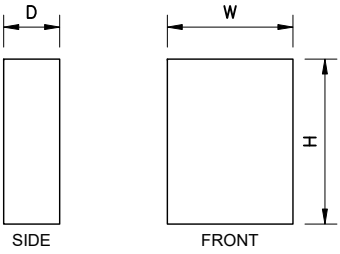
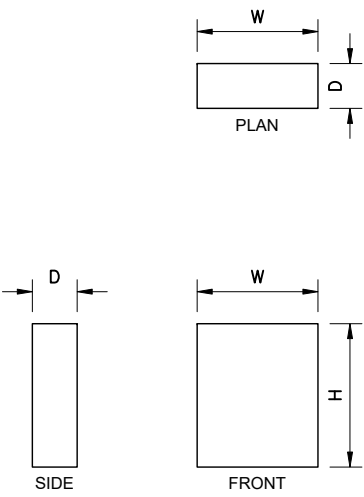
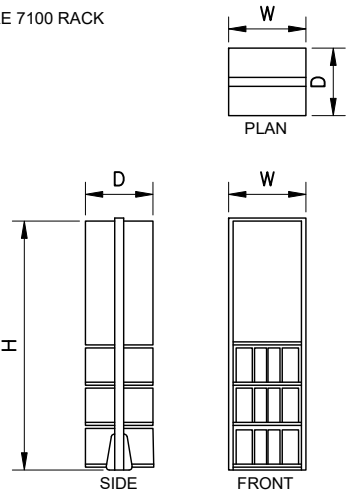


Stephen A. Bray
PROFESSIONAL ENGINEER
EXPIRATION DATE: 06/30/25
NY LICENSE: 086064 5/14/25




PROJECT NUMBER: 331.7767.L08	
SITE INFORMATION: ADAMS LANE POUND RIDGE, NY 10576 WESTCHESTER COUNTY FA #: 10107440	
DESIGN TYPE: CO-LOCATION	
SHEET TITLE: ELEVATION	
SHEET NUMBER: C02A	REV.: B

K:\331_AT&T\331.7767.L08_E-SWAP\331.7767.L08_CAD\331.7767.L08_Construction\331.7767.L08.C02A.dwg, 5/14/2025 2:41:04 PM, wseebach

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<div>MANUF.: COMMSCOPE MODEL: NNH4-65A-R6H4 LENGTH: 59.0" WIDTH: 19.6" DEPTH: 7.8" WEIGHT: 72.8 lbs</div> <div></div>		<div>MANUF.: ERICSSON MODEL: RADIO 4490 B5/B12A HEIGHT: 20.6" WIDTH: 15.6" DEPTH: 7.0" WEIGHT: 65.0 lbs</div> <div></div>		<div>MANUF.: ERICSSON MODEL: 4890 B25/B66 HEIGHT: 20.6" WIDTH: 15.7" DEPTH: 7.0" WEIGHT: 67.2 lbs</div> <div></div>		<div>MANUF.: ERICSSON MODEL: RADIO 4494 B14/B29 HEIGHT: 17.5" WIDTH: 15.1" DEPTH: 5.6" WEIGHT: 57.3 lbs</div> <div></div>	
1	PANEL ANTENNA	2	RRH - B5/B12A	3	RRH - B25/B66	4	RRH - B14/B29
SCALE: NTS		SCALE: NTS		SCALE: NTS		SCALE: NTS	
<div>MANUFACTURER: VERTIV MODEL: NETSURE 7100 RACK HEIGHT: 84.0" WIDTH: 23.0" DEPTH: 23.0"</div> <div></div> <div>NOTES: 1. INSTALLED PER MANUFACTURER'S SPECIFICATIONS.</div>							
5	POWER RACK						
SCALE: NTS							




				
				
				
				
				
				
				
	05-14-25	ISSUED FOR PERMIT FILING	TWS	JES
	04-23-25	INITIAL SUBMISSION NOT FOR CONSTRUCTION	AAB	JES
REV.	DATE	REVISION DESCRIPTION	DRAWN BY	CHKD. BY



1800 ROUTE 34, SUITE 209
WALL, NJ 07719
(732) 280-5623

N.Y. CERTIFICATE OF AUTHORIZATION: 081784



Stephen A. Bray
PROFESSIONAL ENGINEER
EXPIRATION DATE: 06/30/25
NY LICENSE: 086064

PROJECT NUMBER:
331.7767.L08

SITE INFORMATION:
ADAMS LANE
POUND RIDGE, NY 10576
WESTCHESTER COUNTY

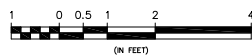
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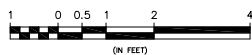
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EQUIPMENT & ANTENNA
SPECIFICATIONS

SHEET NUMBER:
C03A

REV.:
B



11x17 SCALE: 1/4" = 1'-0" 24x36 SCALE: 1/2" = 1'-0"



11x17 SCALE: 1/4" = 1'-0" 24x36 SCALE: 1/2" = 1'-0"

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2. STRUCTURAL MOUNT ANALYSIS (PASS) PREPARED BY KMB DESIGN GROUP, LLC DATED 05-13-25 CONCLUDES THE EXISTING ANTENNA MOUNTING SYSTEM IS STRUCTURALLY ADEQUATE TO SUPPORT THE PROPOSED ANTENNA CONFIGURATION.

1. AT&T BUILD STANDARDS ALLOW UP TO $\pm 3^\circ$ TOLERANCE FOR AZIMUTH AND ANTENNA SKEW TO MOUNT ACCURACY. CONTRACTOR SHALL MEASURE THE AZIMUTH OF THE ANTENNA AND MOUNT VIA AN ANTENNA ALIGNMENT TOOL AND CONTACT EOR IF THE ACTUAL AZIMUTH AND/OR SKEW EXCEEDS THE VALUE SHOWN ON THE DRAWINGS BY MORE THAN 3° . NEW STANDOFF PROJECTIONS OR LENGTHS OF PROPOSED STANDOFFS MAY REQUIRE ADJUSTMENT FROM WHAT IS SHOWN ON THE DRAWINGS.
2. ALL ANCILLARY EQUIPMENT MUST HAVE A 1'-0" CLEARANCE FROM HORIZONTAL PIPE OF SECTOR FRAME.
3. INFORMATION SHOWN ON THIS DRAWING IS BASED ON AS-BUILT DOCUMENTATION AND PHOTOGRAPHS PROVIDED TO KMB AND HAS NOT BEEN FIELD VERIFIED BY KMB. CONTRACTOR TO FIELD VERIFY PRIOR TO COMMENCING WITH CONSTRUCTION AND NOTIFY ENGINEER OF RECORD WITH ANY DISCREPANCIES.
4. WRAP IN RF CONCEALMENT FILM OR PAINT ALL ANTENNAS TO MATCH TOWER COLOR.



KMB
DESIGN GROUP
kmbdg.com

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WESTCHESTER COUNTY

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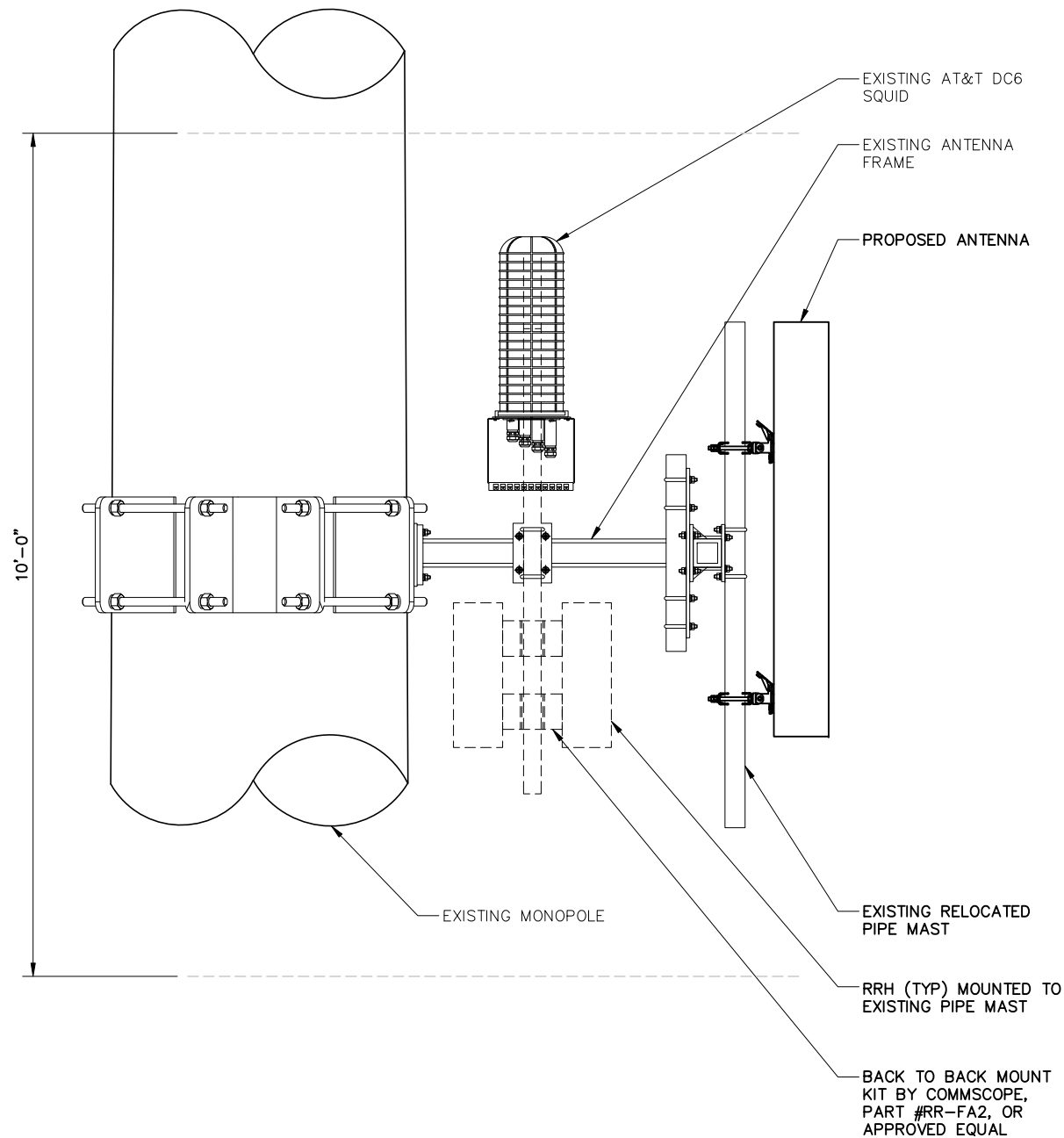
CO-LOCATION

ANTENNA PLANS
(ALL SECTORS)

REV.:

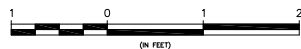
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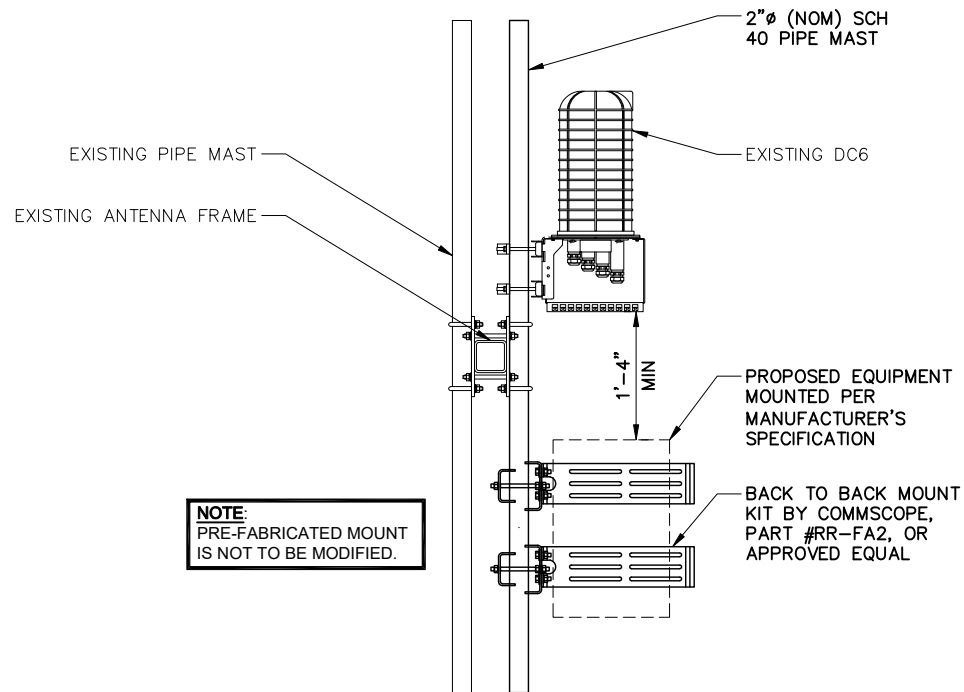
NOTES:

1. LOCATION OF EXISTING CLIMBING PEGS, CABLE ENTRY HOLES OR OTHER OBSTRUCTIONS HAVE NOT BEEN PROVIDED OR FIELD VERIFIED BY KMB. CONTRACTOR TO FIELD VERIFY AND NOTIFY ENGINEER OF RECORD IF UNABLE TO COMPLETE INSTALLATION AS PER DETAILS.



1 ANTENNA MOUNT SECTION (ALL SECTORS)

11x17 SCALE: 1/2" = 1'-0" 24x36 SCALE: 1" = 1'-0"

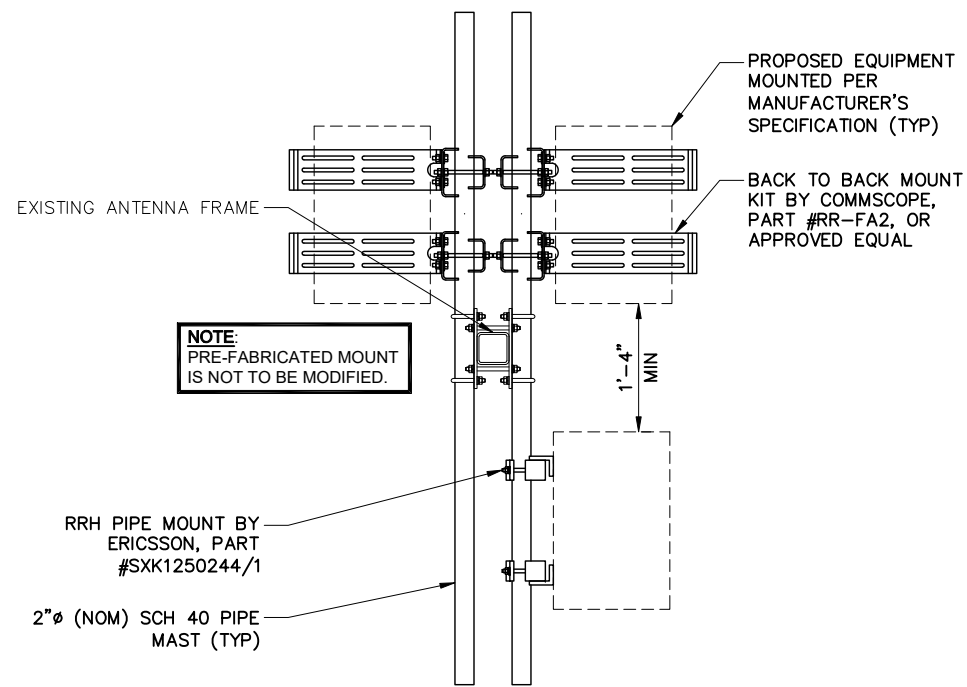


NOTE:
PRE-FABRICATED MOUNT
IS NOT TO BE MODIFIED.

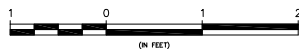


2	ANCILLARY MOUNT SECTION
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11x17 SCALE: 1/2" = 1'-0" 24x36 SCALE: 1" = 1'-0"













NOTE:
PRE-FABRICATED MOUNT
IS NOT TO BE MODIFIED.



2 ANCILLARY MOUNT SECTION

11x17 SCALE: 1/2" = 1'-0" 24x36 SCALE: 1" = 1'-0"



				
				
				
				
				
				
				
				
	05-14-25	ISSUED FOR PERMIT FILING	TWS	JES
	04-23-25	INITIAL SUBMISSION NOT FOR CONSTRUCTION	AAB	JES
REV.	DATE	REVISION DESCRIPTION	DRAWN BY	CHKD. BY



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WALL, NJ 07719
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N.Y. CERTIFICATE OF AUTHORIZATION: 081784



Stephen A. Bray

PROFESSIONAL ENGINEER
EXPIRATION DATE: 06/30/25
NY LICENSE: 086064

5/14/25

PROJECT NUMBER:

331.7767.L08

SITE INFORMATION

ADAMS LANE
POUND RIDGE, NY 10576
WESTCHESTER COUNTY

FA #: 10107440

DESIGN TYPE:

CO-LOCATION

SHEET TITLE

ANTENNA MOUNT DETAILS (ALL SECTORS)

SHEET NUMBER:

C04A

REV.:

B











SECTOR	EXISTING ANTENNA MANUF/MODEL	FINAL ANTENNA MANUF/MODEL	ANTENNA SF	QUANTITY	STATUS	RAD CENTER	FINAL RRH MANUF/MODEL	QUANTITY	FINAL DC MANUF/MODEL	QUANTITY	MOUNT RAD CENTER	CABLE LENGTH (FT)	CABLE TYPE
A1	ANDREW DBXLH-6565A-R2M	COMMSCOPE NNHH-65A-R4	7.5	1	RELOCATED	111'-0"	ERICSSON 4490 B5/B12A	1	(1) RAYCAP DC6-48-60-18-8F	1	110'-4"	150	(2) RFFT-36SM-001-60M FIBER TRUNKS, (4) #8AWG DC POWER TRUNKS AND (12) LDF6 COAX CABLES ON SITE
A2	COMMSCOPE NNHH-65A-R4	COMMSCOPE NNHH-65A-R4	7.5	1	EXISTING	111'-0"	-	-					
A3	-	COMMSCOPE NNH4-65A-R6H4	8.0	1	REPLACED	111'-0"	ERICSSON 4494 B14/B29 & ERICSSON 4890 B25/B66	2					
A4	COMMSCOPE NNHH-65A-R4	-	-	-	-	-	-	-					
B1	ANDREW DBXLH-6565A-R2M	COMMSCOPE NNHH-65A-R4	7.5	1	RELOCATED	111'-0"	ERICSSON 4490 B5/B12A	1	(1) RAYCAP DC6-48-60-18-8F	1	110'-4"	150	
B2	COMMSCOPE NNHH-65A-R4	COMMSCOPE NNHH-65A-R4	7.5	1	EXISTING	111'-0"	-	-					
B3	-	COMMSCOPE NNH4-65A-R6H4	8.0	1	REPLACED	111'-0"	ERICSSON 4494 B14/B29 & ERICSSON 4890 B25/B66	2					
B4	COMMSCOPE NNHH-65A-R4	-	-	-	-	-	-	-					
C1	ANDREW DBXLH-6565A-R2M	COMMSCOPE NNHH-65A-R4	7.5	1	RELOCATED	111'-0"	ERICSSON 4490 B5/B12A	1	-	1	110'-4"	150	
C2	COMMSCOPE NNHH-65A-R4	COMMSCOPE NNHH-65A-R4	7.5	1	EXISTING	111'-0"	-	-					
C3	-	COMMSCOPE NNH4-65A-R6H4	8.0	1	REPLACED	111'-0"	ERICSSON 4494 B14/B29 & ERICSSON 4890 B25/B66	2					
C4	COMMSCOPE NNHH-65A-R4	-	-	-	-	-	-	-					

NOTES:

1. INFORMATION BASED ON RFDS REVISION TBD, DATED TBD. CONTRACTOR TO VERIFY LATEST RFDS WITH RF ENGINEER.
2. ANTENNA CENTERLINE HEIGHT VERIFIED IN FIELD.
3. EXISTING COAX TO BE REMOVED UPON REQUEST.
4. ALL RRUS TO HAVE UP CONVERSION TO -58V.

1	ANTENNA & CABLE SCHEDULE
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	05-14-25	ISSUED FOR PERMIT FILING	TWS	JES
	04-23-25	INITIAL SUBMISSION NOT FOR CONSTRUCTION	AAB	JES
REV.	DATE	REVISION DESCRIPTION	DRAWN BY	CHKD. BY



N.Y. CERTIFICATE OF AUTHORIZATION: 081784



Stephen A. Bray

PROFESSIONAL ENGINEER
EXPIRATION DATE: 06/30/25
NY LICENSE: 086064 5/14/25

PROJECT NUMBER:
331.7767.L08

SITE INFORMATION:
ADAMS LANE
POUND RIDGE, NY 10576
WESTCHESTER COUNTY

FA #: 10107440

DESIGN TYPE: CO-LOCATION

SHEET TITLE:

ANTENNA &
CABLE SCHEDULE

SHEET NUMBER:

C05

B

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GENERAL SPECIFICATIONS:

- ALL WORK SHOULD BE DONE IN A NEAT WORKMANLIKE MANNER, LEFT CLEAN AND FREE FROM DEFECTS, AND COMPLETELY OPERABLE. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT AS SCHEDULED ON THE DRAWINGS. ALL MATERIALS SHALL BE NEW AND ALL WORK AND MATERIALS SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER.
- ALL WORK SHALL BE CAREFULLY COORDINATED WITH THE LANDLORD AND ALL TRADES INVOLVED, AND THE CONTRACTOR SHALL PROVIDE PROPER CONNECTIONS, FITTINGS, VALVES, PIPING, ETC. FOR ALL EQUIPMENT FURNISHED BY CARRIER OR OTHER TRADES INVOLVED IN THIS CONTRACT.
- CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY CONFLICT DISCOVERED BEFORE PERFORMING ANY WORK RELATED TO SUCH CONFLICT.
- PROVIDE ALL REQUIRED TEMPORARY UTILITIES AND PAY ALL ASSOCIATED FEES AND OPERATING COSTS.
- THE GENERAL CONTRACTORS SHALL PERFORM ALL CUTTING AND PATCHING AS REQUIRED FOR THEIR RESPECTIVE WORK, INCLUDING STRUCTURALLY FRAMED OPENINGS SHALL BE CUT AND FRAMED BY THE GENERAL CONTRACTOR. ALL HOLES IN MASONRY FLOORS AND WALLS SHALL BE CORE DRILLED.




























GROUNDING NOTES:

- ALL GROUNDING CONDUCTORS SHALL BE #2 SOLID TINNED COPPER, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR CONNECTIONS TO GROUND CONDUCTOR SHALL BE EXOTHERMICALLY WELDED (CADWELD).
- ALL CONNECTIONS BELOW GRADE SHALL BE EXOTHERMICALLY WELDED (CADWELD).
- CONNECTIONS TO GROUND BARS SHALL BE MADE UTILIZING TWO-HOLE LONG BARREL TYPE STAINLESS STEEL BOLTS, NUTS, AND LOCKWASHERS.
- CONNECTIONS TO EQUIPMENT AND ENCLOSURES SHALL BE MADE UTILIZING TWO-HOLE GROUND LUGS WITH AN ANTI-OXIDENT COMPOUND.
- THE GROUNDING SYSTEM SHALL BE TESTED UPON INSTALLATION. THE MAXIMUM RESISTANCE TO GROUND SHALL NOT EXCEED 5 OHMS.
- WHERE GROUNDING CONNECTIONS ARE MADE TO PAINTED METAL. SURFACES SHALL BE SCRAPED CLEAN TO BEAR METAL TO INSURE PROPER CONTACT. SURFACES SHALL BE RESTORED TO MATCH ORIGINAL FINISHES.
- ALL BENDS IN GROUNDING CONDUCTORS SHALL NOT BE LESS THAN A 12" RADIUS.
- BOND ALL METALLIC RACEWAYS, EQUIPMENT ENCLOSURES, AND BOXES.
- ALL BONDING CONDUCTORS SHALL BE #6 AWG. STRANDED INSULATED COPPER.
- CABLE TO CABLE CONNECTIONS SHALL BE EXOTHERMICALLY WELDED (CADWELD).
- CABLE TO STEEL CONNECTIONS SHALL BE EXOTHERMICALLY WELDED (CADWELD), UNLESS OTHERWISE NOTED.
- USE OF NINETY DEGREE BENDS SHALL BE AVOIDED. BENDS SHALL BE FORTY FIVE DEGREES WHERE POSSIBLE.
- BOND ALL SERVICE RACEWAYS, EQUIPMENT ENCLOSURES, METER FITTINGS, BOXES, AND METALLIC RACEWAYS IN ACCORDANCE WITH SECTION 250.92 OF THE NATIONAL ELECTRIC CODE.

ELECTRICAL SPECIFICATIONS:

- GENERAL:
 - THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, TRANSPORTATION EQUIPMENT, SERVICES AND FACILITIES REQUIRED FOR THE COMPLETE, PROPER AND SUBSTANTIAL INSTALLATION OF ALL ELECTRICAL WORK. ALL FIXTURES, DEVICES, AND EQUIPMENT SHOWN, NOTED OR REQUIRED ON THESE DRAWINGS, AND/OR CONTAINED HEREIN SHALL BE CONNECTED FROM THE SOURCE OF ELECTRIC POWER TO THE FINAL CONNECTION, TESTED AND MADE READY FOR SATISFACTORY OPERATION.
 - ALL CONTROL WIRING SHALL BE FURNISHED BY THE ELECTRICAL CONTRACTOR. OTHER CONTRACTORS SHALL PROVIDE STARTERS, ETC. FOR ALL EQUIPMENT THEY FURNISH, UNLESS SPECIFICALLY INDICATED ON THE ELECTRICAL DRAWINGS.
 - UNLESS OTHERWISE INDICATED, THE ARRANGEMENT, POSITION, CONNECTIONS, ETC. SHOWN ON THE DRAWINGS SHALL BE TAKEN DIAGRAMMATIC. THE RIGHT IS RESERVED BY THE ENGINEER TO MAKE MINOR CHANGES IN LOCATIONS AND ARRANGEMENTS WHEN REQUIRED BY JOB DEVELOPMENT WITHOUT ADDITIONAL COMPENSATION TO THE CONTRACTOR.
 - REFER TO THE GENERAL SPECIFICATION, THIS SHEET.
 - ALL WORK SHALL CONFORM TO THE ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND LOCAL, STATE AND APPLICABLE CODES.
 - PROVIDE AS-BUILT DRAWINGS TO OWNER AT CONCLUSION OF PROJECT.
 - OBTAIN ALL PERMITS AND APPROVALS FROM AUTHORITIES HAVING JURISDICTION AND PAYING ALL FEES REQUIRED.
 - WHEN A UTILITY COMPANY METER IS SPECIFIED, THE CONTRACTOR SHALL OBTAIN ALL ASSOCIATED CUT-IN CARDS, INSPECTIONS, ETC., NECESSARY TO HAVE THE METER SET. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MEET WITH UTILITY COMPANY PRIOR TO CONSTRUCTION TO VERIFY SOURCE OF ELECTRIC SERVICE, TAP AND METER LOCATION.
 - GROUND RING DEPTH SHALL BE 30 INCHES MINIMUM BELOW FINISHED GRADE, OR 6 INCHES BELOW FROST LINE, WHICHEVER IS THE GREATER DISTANCE.
- IDENTIFICATION:
 - PROVIDE TYPEWRITTEN DIRECTORIES FOR PANELS, INDICATING USE OF EACH BRANCH CIRCUIT AND DESIGNATING SPARE CIRCUITS. HANDWRITTEN DIRECTORIES ARE NOT ACCEPTABLE.
 - LABEL ALL CONDUITS AND WIRES WITH THEIR ASSOCIATED CONDUIT AND CIRCUIT/TERMINAL NUMBERS. MARKERS TO BE AS MANUFACTURED BY SETON NAMEPLATE CORP., OR EQUAL.
 - ALL PANELBOARDS, SWITCHES AND OTHER EQUIPMENT ENCLOSURES SHALL BEAR ENGRAVED NAMEPLATES AS MANUFACTURED BY SETON NAMEPLATE CORP., OR EQUAL LETTERING TO BE 1/2 INCH HIGH WHITE LETTERS ON BLACK BACKGROUND UNLESS NOTED OTHERWISE.
- RACEWAYS:
 - MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - EXPOSED RACEWAYS SHALL BE RUN TRUE, PLUMB, AND PARALLEL OR PERPENDICULAR TO BUILDING LINES.
 - CONDUIT SUPPORTS SHALL BE SPACED AT A MAXIMUM DISTANCE OF 10 FEET APART.
- WIRING METHODS:
 - SINGLE CONDUCTOR CABLES SHALL BE USED FOR FEEDERS AND BRANCH CIRCUIT WIRING. MINIMUM SIZE WIRE SHALL BE #12 AWG UNLESS OTHERWISE INDICATED AND SHALL BE SIZED TO CONFORM TO NORMAL NEC VOLTAGE DROPS. WIRE SIZES #10 AWG AND SMALLER SHALL BE SOLID, #8 AWG AND LARGER SHALL BE STRANDED. ALL CONDUCTORS SHALL BE COPPER.
 - CONDUCTORS SHALL BE CONTINUOUS FROM ORIGIN TO PANEL OR EQUIPMENT WITHOUT SPLICES. WHERE TAP SPLICES ARE NECESSARY AND APPROVED, THEY SHALL BE MADE WITH SUITABLE CONNECTORS IN JUNCTION BOXES.
 - PHASE CONDUCTORS SHALL BE IDENTIFIED WITH THE FOLLOWING COLOR CODED TAPE AT BOTH ENDS:











	120/208 VOLTS	277/480 VOLTS
PHASE A	BLACK	BROWN
PHASE B	RED	ORANGE
PHASE C	BLUE	YELLOW
NEUTRAL	WHITE	WHITE WITH GREY STRIPE
GROUND	GREEN	GREEN
 - PROVIDE FIRESTOPPING AROUND ALL CONDUITS AT WALL AND FLOOR PENETRATIONS.
 - SEAL ALL EXTERIOR WALL PENETRATIONS AS REQUIRED.
 - THE CONTRACTOR SHALL CONCEAL ALL CONDUIT ROUTING PASSING THROUGH FINISHED AREAS. CONDUIT ROUTING THROUGH UNFINISHED AREAS SHALL BE SUPPORTED AS SPECIFIED IN DRAWINGS. UNLESS CLEARLY SPECIFIED, NO CONDUITS SHALL BE ROUTED ON EXTERIOR SURFACE OF BUILDING.
 - UNDERGROUND CONDUITS SHALL BE A MINIMUM OF 24" BELOW FINISHED GRADE. ALL UNDERGROUND WORK SHALL BE DOCUMENTED BY PHOTOGRAPH BEFORE ANY BACKFILL IS BEGUN. PHOTOS WILL BE REQUIRED AT TIME PUNCHLIST IS PERFORMED. FEEDERS SHALL BE INDIVIDUAL CONDUCTORS IN SCHEDULE 40 PVC, DIRECT BURIAL CONDUIT. WHEN BURIED CONDUITS ARE SUBJECT TO VEHICULAR TRAFFIC, CONDUITS SHALL BE ENCASED IN CONCRETE. ALL SWEEPS BELOW GRADE SHALL BE SCHEDULE 80 PVC.
 - ALL FEEDERS RUN INDOORS SHALL CONSIST OF EMT WITH INDIVIDUAL CONDUCTORS. FLEXIBLE METALLIC CONDUIT (MC) SHALL BE USED WHERE STRUCTURAL MEMBER PROHIBIT CONDUIT. MC MAY ALSO BE UTILIZED FOR LIGHTING WHIPS, BRANCH CIRCUITS AND OTHER MISCELLANEOUS APPLICATIONS PERMITTED BY CODE.
 - ALL FEEDERS IN "DAMP" OR "WET" LOCATIONS SHALL CONSIST OF INDIVIDUAL CONDUCTOR IN RIGID GALVANIZED STEEL OR RIGID ALUMINUM CONDUIT. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT SHALL BE UTILIZED WHEN CONNECTING TO EQUIPMENT CABINETS AND VIBRATING EQUIPMENT. THE MAXIMUM LENGTH FOR FLEXIBLE CONDUIT SHALL BE 6'-0".
- WIRING DEVICES:
 - SWITCHES, RECEPTACLES AND OTHER WIRING DEVICES SHALL BE SPECIFICATION GRADE OF TYPE, SIZE AND RATING INDICATED ON THE DRAWINGS.
- DISCONNECT SWITCHES:
 - SWITCHES SHALL BE QUICK-MAKE, QUICK-BREAK NEMA 1 FOR INDOOR USE AND NEMA 3R FOR OUTDOOR USE AS MANUFACTURED BY GENERAL ELECTRIC, SQUARE D OR EQUAL. ELECTRICAL CONTRACTOR TO PROVIDE ALL SAFETY DISCONNECTS.
- SPECIAL REQUIREMENTS:
 - THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL POWER AND CONTROL WIRING FOR EQUIPMENT FURNISHED UNDER HVAC, PLUMBING AND GENERAL TRADE SECTIONS.
 - ALL WORK REQUIRING AN OUTAGE OT INTERRUPTION OF SERVICE (POWER, TELEPHONE) SHALL BE SCHEDULED ONLY AT SUCH TIME PERMITTED BY OWNER.
- LIGHTING FIXTURES AND LAMPS:
 - LIGHTING FIXTURES SHALL BE FURNISHED COMPLETE WITH NECESSARY HARDWARE AND LAMPS.
- PANELBOARDS:
 - PANELS SHALL BE BOLTED- ON MOLDED CASE CIRCUIT BREAKER TYPE WITH DOORS AND LOCKS.
 - ALL CONDUCTOR TERMINALS SHALL BE U.L. LISTED FOR MINIMUM OF 75° C.
- TRANSFORMERS:
 - TRANSFORMERS SHALL BE DRY TYPE WITH AVERAGE TEMPERATURE RISE NOT TO EXCEED 150° C (115° C) (80° C).
 - TRANSFORMERS SHALL BE AS MANUFACTURED BY SQUARE D, GENERAL ELECTRIC OR SIEMENS.
 - TRANSFORMER TO BE INSTALLED WITH A NEMA 3R WEATHERSHIELD.

ELECTRICAL LEGEND	
LIGHTING FIXTURES	
	1' X 4' SURFACE MOUNTED FLOURESCENT FIXTURE WITH WRAP AROUND ACRYLIC PRISMATIC LENS. LITHONIA PART NO. LB-332-120-SS81/3-NYC. LAMPS: (3) F32T8/35K
	50 WATT H.P.S. EXTERIOR WALL MOUNTED FIXTURE W/ PHOTOCELL. MOUNT 6"6" A.F.F. TO BOTTOM. HUBBELL NO. NRG-301-120-PC
POWER	
	HOMERUN TO DESIGNATED PANEL. CROSS LINES INDICATE NUMBER OF CONDUCTORS WHEN MORE THAN TWO (GROUND NOT INCLUDED) NUMBER DENOTES CIRCUIT
	TRANSFORMER
WIRING DEVICES	
	DUPLEX RECEPTACLE, 20 AMP, 125 V, LEVITON NO. 5262-1 MOUNT 1'6" A.F.F. TO CENTER
	DOUBLE DUPLEX RECEPTACLE, (2) 20 AMP, 125 V, LEVITON NO. 5262-1 MOUNT 1'6" A.F.F. TO CENTER
	20 AMP, 125 V, DUPLEX RECEPTACLE W/ GROUND FAULT INTERRUPTER LEVITON NO. 6599 W/ LOCKING COVER 5977
	SINGLE POLE, 20 AMP TOGGLE SWITCH LEVITON NO. CSB 1-20. MOUNT 4'-0" A.F.F. TO TOP.
	TWO-POLE, 20 AMP TOGGLE SWITCH LEVITON NO. CSB 2-20. MOUNT 4'-0" A.F.F. TO TOP.
	3-WAY, 20 AMP TOGGLE SWITCH LEVITON NO. CSB 3-20. MOUNT 4'-0" A.F.F. TO TOP.
AUXILIARY SYSTEMS	
	CEILING-MOUNTED IONIZATION SMOKE DETECTOR
	CEILING MOUNTED PHOTOELECTRIC SMOKE DETECTOR
	SELF-CONTAINED COMBINATION EMERGENCY LED LIGHT W/ (2) LAMPHEADS. DUAL-LITE NO.: LTSRW
	FIRE ALARM PULL STATION. MOUNT 48" A.F.F. TO TOP.
	FIRE ALARM HORN / STROBE. MOUNT 80" A.F.F. TO TOP.
EQUIPMENT	
	DISCONNECT SWITCH 30 = AMP RATING NF = NON-FUSED
	PULLBOX
	PANELBOARD
	MOTOR-OPERATED DAMPER
	MOTOR
GROUNDING	
	#2 SOLID TINNED COPPER UNLESS OTHERWISE NOTIFIED
	EXOTHERMIC WELD CONNECTION
	MECHANICAL CONNECTION, DOUBLE-CRIMP "C" TYPE
	MASTER GROUND BAR
	INSULATED GROUND BAR
	UNINSULATED GROUND BAR
	5/8" x 10" COPPER CLAD GROUND ROD

THE CONTRACTOR IS REQUIRED TO CONTACT AND MEET WITH THE UTILITY COMPANIES PRIOR TO STARTING CONSTRUCTION. THIS IS NECESSARY TO VERIFY THAT FOLLOWING UTILITY POINTS HAVE REMAINED CONSISTENT WITH THE CONTRACTOR DOCUMENTS:

- * TELEPHONE DEMARICATION POINT
- * ELECTRICAL SERVICE TAP POINT
- * NEW UTILITY METER LOCATION



					
					
					
					
					
					
					
					
	05-14-25	ISSUED FOR PERMIT FILING	TWS	JES	
	04-23-25	INITIAL SUBMISSION NOT FOR CONSTRUCTION	AAB	JES	
REV.	DATE	REVISION DESCRIPTION	DRAWN BY	CHKD. BY	



1800 ROUTE 34, SUITE 209
WALL, NJ 07719
(732) 280-5623

N.Y. CERTIFICATE OF AUTHORIZATION: 081784



Stephen A. Bray

PROFESSIONAL ENGINEER
EXPIRATION DATE: 06/30/25
NY LICENSE: 086064

5/14/25

PROJECT NUMBER:
331.7767.L08

SITE INFORMATION:
**ADAMS LANE
POUND RIDGE, NY 10576
WESTCHESTER COUNTY**

FA #: 10107440

DESIGN TYPE:
CO-LOCATION

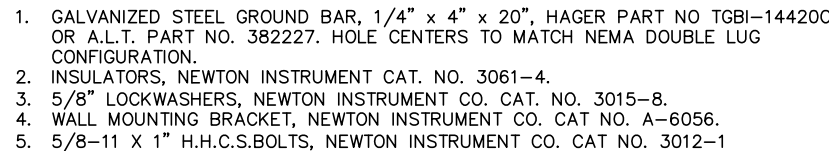
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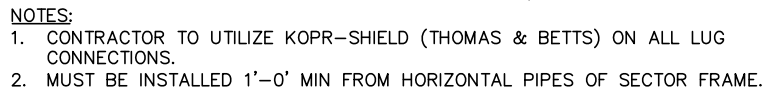
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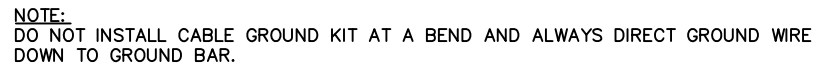
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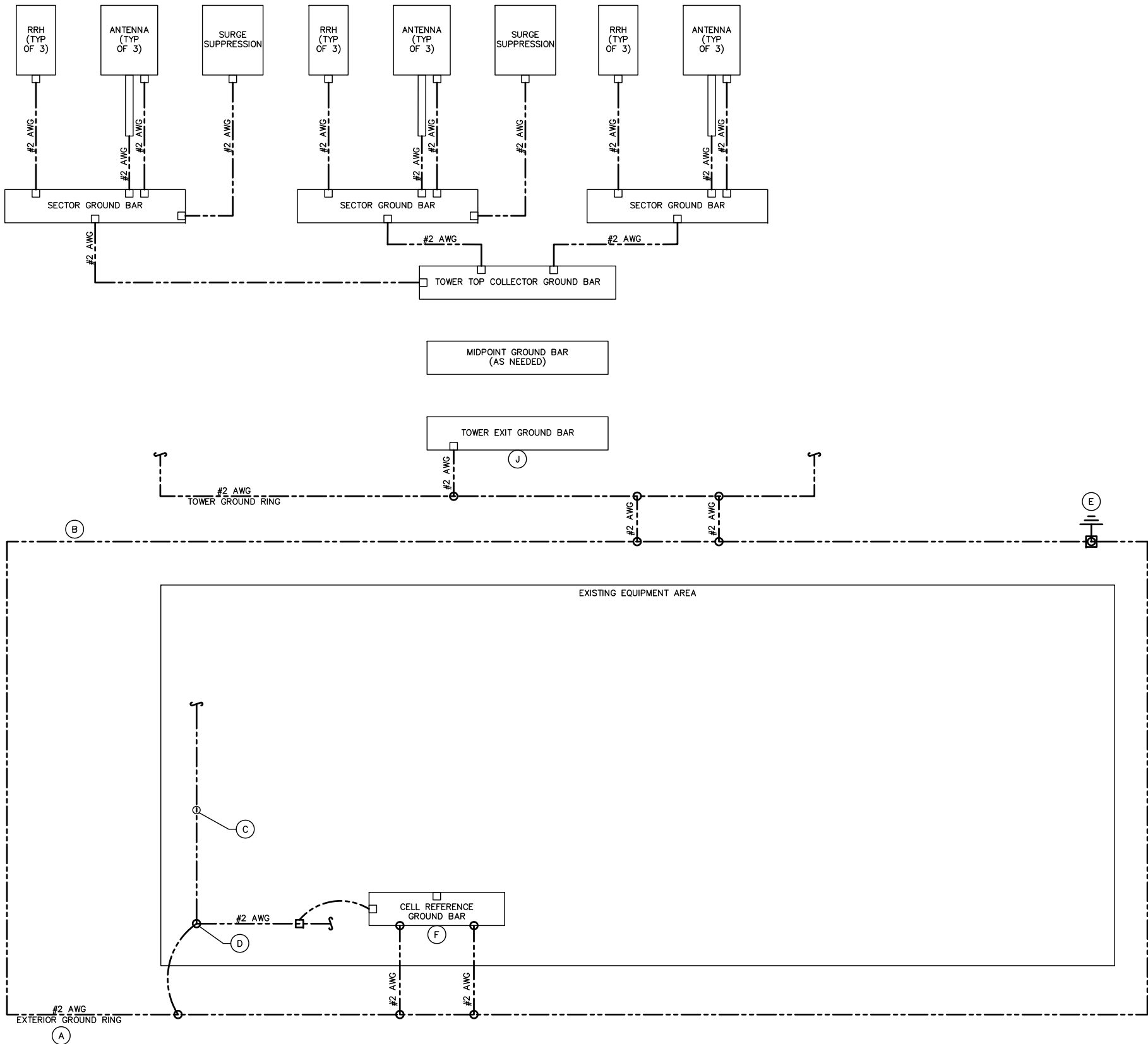
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

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









-  EXOTHERMIC CONNECTION
  GROUND ROD

 MECHANICAL CONNECTION
  TEST GROUND ROD WITH INSPECTION SLEEVE

 1. GROUNDING IS SHOWN DIAGRAMMATICALLY ONLY.
 2. CONTRACTOR SHALL GROUND ALL EQUIPMENT AS A COMPLETE SYSTEM. GROUNDING SHALL BE IN COMPLIANCE WITH NEC SECTION 250 AND AT&T GROUNDING AND BONDING REQUIREMENTS (ATT-TP-76416) AND MANUFACTURER'S SPECIFICATIONS.
 3. ALL GROUND CONDUCTORS SHALL BE COPPER: NO ALUMINUM CONDUCTORS SHALL BE USED.
 4. FOR RRHS, TWO GROUND AS REQUIRED (TOP AND BOTTOM).
 5. CONTRACTOR TO VERIFY MASTER GROUND BAR IS IN PLACE AND PROPERLY GROUNDED.
 6. CONTRACTOR TO VERIFY ALL SECTOR GROUND BARS ARE IN PLACE AND PROPERLY CONNECTED TO MASTER GROUND BAR.
 7. CONTRACTOR TO REPLACE AND/OR REPAIR ALL GROUND CONNECTIONS AS REQUIRED TO ENSURE A SUITABLE GROUND CIRCUIT EXISTS.
 - A. EXTERIOR GROUND RING: #2 AWG SOLID COPPER, BURIED AT A DEPTH OF AT LEAST 30" BELOW GRADE, OR 6" BELOW THE FROST LINE AND APPROXIMATELY 24" FROM THE EXTERIOR WALL OR FOOTING. (ATT-TP-76415 2.2.3.5/7.5.1)
 - B. TOWER GROUND RING: THE GROUND RING SYSTEM SHALL BE INSTALLED AROUND AN ANTENNA TOWER'S LEGS, AND/OR GUY ANCHORS. WHERE SEPARATE SYSTEMS HAVE BEEN PROVIDED FOR THE TOWER AND BUILDING, AT LEAST 2 BONDS SHALL BE MADE BETWEEN THE TOWER RING GROUND SYSTEM AND THE BUILDING RING GROUND SYSTEM USING MINIMUM #3 AWG SOLID COPPER CONDUCTORS. (ATT-TP-76416 7.5.1)
 - C. INTERIOR GROUND RING: #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTOR EXTENDED AROUND THE PERIMETER OF THE EQUIPMENT AREA. ALL NON-TELECOMMUNICATIONS RELATED METALLIC OBJECTS FOUND WITHIN A SITE SHALL BE GROUNDED TO THE INTERIOR GROUND RING WITH #6 AWG STRANDED GREEN INSULATED CONDUCTOR. (ATT-TP-76416 7.6.4)
 - D. BOND TO INTERIOR GROUND RING: #2 AWG TINNED COPPER WIRE PRIMA BONDS SHALL BE PROVIDED AT LEAST AT FOUR POINTS ON THE INTERIOR GROUND RING, LOCATED AT THE CORNERS OF THE BUILDING. (ATT-TP-76416 7.5.2.2)
 - E. GROUND RING: UL LISTED COPPER CLAD STEEL. MINIMUM 5/8"Ø BY 8'-0" LONG. ALL GROUND RODS MAY BE INSTALLED WITH INSPECTION SLEEVES. GROUND RODS SHALL BE DRIVEN TO THE DEPTH OF GROUND RING CONDUCTOR. (ATT-TP-76416 1.4/2.2.3.10)
 - F. CELL REFERENCE GROUND BAR: POINT OF GROUND REFERENCE FOR ALL COMMUNICATIONS EQUIPMENT FRAMES. ALL BONDS ARE MADE WITH #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS. BOND TO GROUND RING WITH (2) #2 SOLID TINNED COPPER CONDUCTORS. (ATT-TP-76416 7.6.7)
 - G. HATCH PLATE GROUND BAR: BOND TO THE INTERIOR GROUND RING WITH (2) awg STRANDED GREEN INSULATED COPPER CONDUCTORS. WHEN A HATCH PLATE AND CELL REFERENCE GROUND ARE BOTH PRESENT, THE CRBG MUST BE CONNECTED TO THE HATCH PLATE AND TO THE INTERIOR GROUND RING USING (2) #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS.
 - H. EXTERIOR CABLE ENTRY PORT GROUND BARS: LOCATED AT THE ENTRANCE TO THE CELL SITE BUILDING. BOND TO GROUND RING WITH A #2 AWG SOLID TINNED COPPER CONDUCTOR WITH AN EXOTHERMIC WELD AND INSPECTION SLEEVE. (ATT-TP-76416 7.6.7.2)
 - I. TOWER EXIT GROUND BAR: #2 AWG SOLID TINNED COPPER BOND TO THE TOWER GROUND RING. (ATT-TP-76416 7.5.5)
 - J. TELCO GROUND BAR: BOND TO BOTH CELL REFERENCE GROUND BAR AND EXTERIOR GROUND RING. (ATT-TP-76416 7.6.8)
 - K. FRAME BONDING: THE BONDING POINT FOR TELECOM EQUIPMENT FRAMES SHALL BE THE GROUND BUS THAT IS NOT ISOLATED FROM THE EQUIPMENT'S METAL FRAMEWORK. BOND THE FRAME GROUND BUS TO THE "I" SECTION OF THE OFF THE CELL REFERENCE GROUND BAR. (ATT-TP-76416 7.8)
 - L. INTERIOR UNIT BONDS: METAL FRAMES, CABINETS, AND INDIVIDUAL METALLIC UNIT LOCATED WITHIN THE AREA OF THE INTERIOR GROUND RING REQUIRE A #6 AWG STRANDED GREEN INSULATED COPPER BOND TO THE INTERIOR GROUND RING. (ATT-TP-76416 7.12.3.1)
 - M. FENCE AND GATE GROUNDING: METAL FENCED WITHIN 7'-0" OF THE EXTERIOR GROUND RING OR OBJECTS BONDED TO THE EXTERIOR GROUND RING SHALL BE BONDED TO THE GROUND RING WITH A #2 SOLID TINNED COPPER CONDUCTOR AT AN INTERVAL NOT EXCEEDING 25'-0". BONDS SHALL BE MADE AT EACH GATE POST AND ACROSS GATE OPENINGS. (ATT-TP-76416 7.12.2.2)
 - N. EXTERIOR UNIT BONDS: METALLIC OBJECTS, EXTERNAL TO OR MOUNTED TO THE BUILDING, SHALL BE BONDED TO THE EXTERIOR GROUND RING. (ATT-TP-76416 7.12.2)
 - O. ICE BRIDGE SUPPORTS: EACH ICE BRIDGE LEG SHALL BE BONDED TO THE GROUND RING WITH #2 AWG BARE TINNED COPPER CONDUCTOR. PROVIDE EXOTHERMIC WELDS AT BOTH THE ICE BRIDGE LEG AND BURIED GROUND RING. (ATT-TP-76416 7.4.2.6)
 - P. DURING ALL DC POWER SYSTEM CHANGES (INCLUDING DC SYSTEM CHANGE OUT, RECTIFIER REPLACEMENTS OR ADDITIONS, BREAKER DISTRIBUTION CHANGES, BATTERY ADDITIONS, BATTERY REPLACEMENTS, AND INSTALLATIONS OR CHANGES TO DC CONVERTER SYSTEMS) IT SHALL BE REQUIRED THAT THE SERVICE CONTRACTORS VERIFY ALL DC POWER SYSTEMS ARE EQUIPPED WITH A MASTER DC SYSTEM RETURN GROUND CONDUCTOR FROM THE DC POWER SYSTEM COMMON RETURN BUS DIRECTLY CONNECTED TO THE CELL SITE REFERENCE GROUND BAR (CRBG PER TP76300, SECTION H6 AND TP76416 FIGURE 7-11 REQUIREMENTS).
 - Q. ANTENNA PIPE MASTS WHICH ARE NOT BONDED TO A SECTOR FRAME MAY USE GAR-TC CLAMPS.



				
				
				
				
				
				
				
				
	05-14-25	ISSUED FOR PERMIT FILING	TWS	JES
	04-23-25	INITIAL SUBMISSION NOT FOR CONSTRUCTION	AAB	JES
REV.	DATE	REVISION DESCRIPTION	DRAWN BY	CHKD. BY



N.Y. CERTIFICATE OF AUTHORIZATION: 081784



Stephen A. Bray

PROFESSIONAL ENGINEER
EXPIRATION DATE: 06/30/25
NY LICENSE: 086064 5/14/25

PROJECT NUMBER:
331.7767.L08

SITE INFORMATION:

ADAMS LANE
POUND RIDGE, NY 10576
WESTCHESTER COUNTY

FA #: 10107440

DESIGN TYPE: CO-LOCATION

SHEET TITLE:

GROUNDING ONE LINE
DIAGRAM (ALL SECTORS)

SHEET NUMBER:	REV
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E03

B

331.7767 L08 E-SWAP\331.7767.L08 Construction\331.7767.L08.E03.dwg, 5/14/2025 2:41:40 PM, wseebach

STEP 1: ENTER QUANTITIES OF EQUIPMENT & DC OPERATING VOLTAGE:

STEP 2: ENTER DC PLANT TYPE FROM DROP-DOWN MENU:
(“GENERIC” +24V or -48V DC PLANT CAN BE SELECTED FOR ANY MANUFACTURER’S DC PLANT)
ALPHA STD 1430A +24VDC PLANT w/CONV. SHELF NEQ.15238
+24V PRIMARY DC PLANT SPECIFIED
(DC PLANT CONFIGURATION CAN BE REVIEWED ON DC PLANT WORKSHEET)
STEP 2A: THIS STEP ONLY SHOWN IF “GENERIC” DC PLANT PLANT TYPE HAS BEEN SELECTED:
STEP 2B: THIS STEP ONLY SHOWN IF TYCO GPS2424 DC PLANT PLANT TYPE HAS BEEN SELECTED:
STEP 3: DO YOU WANT TO CONFIGURE A STANDARD STAND-ALONE DC CONVERTER SYSTEM? Y
NOTE: IF YOU SELECT “Y” ANY INTEGRATED DC PLANT CONVERTER OPTIONS WILL BE BYPASSED
SELECT A STANDARD STAND-ALONE CONVERTER SYSTEM FROM THE DROP-DOWN LIST:
ALPHA STD 24V to 48V DC CONVERTER SYSTEM (NEQ.13289)
(CONVERTER CONFIGURATION CAN BE REVIEWED ON DC PLANT WORKSHEET)
STEP 4: ENTER INDOOR SITE BUILDING/SHELTER DATA:
(Square footage used for interior AC lighting LOAD calculation)
SELECT SITE BUILDING TYPE & SIZE: 11' 5" x 12' SHELTER
STEP 5: ENTER SITE HVAC SYSTEM DATA:
SPECIFY INDIVIDUAL HVAC UNIT SIZE (TONS): 5 SPECIFY QUANTITY: 2
DOES SITE HAVE ADDITIONAL HVAC (DIFFERENT SIZE)? N
ARE THERE SITE HVAC HEATING UNITS? N
TOTAL SPECIFIED SITE HVAC: 10-TONS ESTIMATED HVAC REQUIREMENT: TWO 3-TON UNITS
THIS TOOL DOES NOT APPLY TO SITES THAT ARE EQUIPPED WITH FREE STANDING DIRECT AIR COOLING
STEP 6: ENTER SITE STATIONARY GENERATOR DATA:
DOES SITE HAVE A STATIONARY GENERATOR? Y GENERATOR SIZE (KW): 35
ESTIMATED CAPACITY REQUIRED: 28 KW GENSET CAPACITY SUFFICIENT
STEP 7: ENTER SITE BATTERY CONFIGURATION DATA:
SELECT SINGLE STRING BATTERY CAPACITY (AH): 155
SPECIFY TOTAL QUANTITY OF BATTERY STRINGS: 16
TOTAL SITE BATTERY CAPACITY (AH): 2480
NOTE: STANDARD BATTERY CAPACITY HAS BEEN SPECIFIED
NOTE: 12 VOLT MODULES - 2 batteries per +24V String
ESTIMATED BATTERY RESERVE TIME: 10.6 HOURS (SITE GENSET)
SITES WITH STATIONARY GENSETS SHALL BE ENGINEERED WITH A MAX OF 3 SHELVES OF 180 AH BATTERIES
(3 strings at -48v or 6 strings at +24v) - ALL OTHER SITES A MINIMUM OF 4 HOURS
SITE POWER CALCULATION TOOL - VERSION 4.3 - October 17, 2017 R. BADGERO
ANY QUESTIONS PLEASE CONTACT RICK BADGERO (RB6620@ATT.COM)

SITE DATA INPUT WORKSHEET - INDOOR SITE POWER ESTIMATE TOOL														
NOTE: LOAD VALUES FOR ANY EQUIPMENT CAN BE USER SPECIFIED ON THE POWER CONSUMPTION WORKSHEET - USER CHANGES TO DEFAULT LOAD VALUES ARE HIGHLIGHTED IN BRIGHT YELLOW														
QTY	RADIO HEADS - Outdoor		VOLTAGE	WATTS	QTY	LTE 4G & Multi-Std EQUIPMENT		VOLTAGE	WATTS	QTY	ANCILLARY CELL SITE EQUIPMENT		VOLTAGE	WATTS
Ericsson														
0	RRUS 01 B2, B5 (80W)		48	0	0	A-LU 9926 LTE BBU (wmax 3 eCEM-u)		48	0	1	A-LU 7705 SIAD		24	80
0	RRUS 01 B12 (60W)		48	0	0	Nokia FSM-4		48	0	(FUTURE)				
0	RRUS 11 B12 (2x30W)		48	0	(FUTURE)									
0	RRUS 11 B2, B4, B5, B12 (2x40W)		48	0	(FUTURE)									
0	RRUS 12 B2, B4, B5 (2x60W)		48	0	0	Ericsson LTE IRBS6601 BBU - 1 DUL		48	0	0	A-LU MPR-9500 MW Service Switch - MSS		48	0
0	RRUS 32 B2 (4x40W)		48	0	0	Ericsson LTE RBS6601 BBU - 2 DUL		48	0	0	A-Lu MPR-9500 MW Outdoor Unit - ODU		48	0
0	RRUS 32 B30 (4x25W)		48	0	0	Ericsson W/CDMA RBS6601 - 1 DUW		48	0	0	A-Lu MPR-9500 MW MPT-HL (Indoor)		48	0
0	RRUS 32 B66A		48	0	0	Ericsson LTE RBS6601 BBU - 1DUS		48	0	(FUTURE)				
0	RRUS A2 B2, B4, B12		48	0	0	Ericsson LTE RBS6601 BBU - 2DUS		48	0	0	Cisco MWR-2941 SIAD		48	0
0	RRUSE2 B29		48	0	0	Ericsson XMU		48	0	0	Cisco SIAD ASR-901		48	0
0	RRUW B2, B5		48	0	0	Ericsson LTE RBS5216		48	0	0	Cisco 15310 EOS (SONET) MUX		48	0
0	AIR 21 (60W)		48	0	(FUTURE)									
0	RRUS 4478 B14		48	0	(FUTURE)									
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ORIGIN ID: MJXA (973) 928-9018
ALEXIS ENGELHARDT
AIROSMITH DEVELOPMENT INC.
30 DAVOS ROAD

BRICK, NJ 08724
UNITED STATES US

SHIP DATE: 01JUL25
ACTWGT: 1.00 LB
CAD: 107631113/INET4535

BILL SENDER

TO **ATTN: PLANNING BOARD**
TOWN OF POUND RIDGE
179 WESTCHESTER AVENUE

POUND RIDGE NY 10576

(914) 764-3982
INV: P-68663
PO: P-68663

REF: P-68663

DEPT: P-68663

58GJ3D55359F2



THU - 03 JUL 5:00P

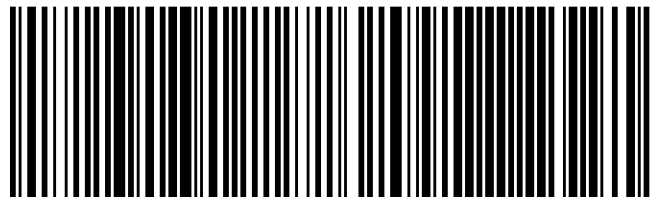
**** 2DAY ****

TRK#
0201 **8824 4848 5350**

K5 WODA

10576

NY-US SWF



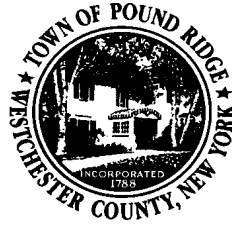
After printing this label:
CONSIGNEE COPY - PLEASE PLACE IN FRONT OF POUCH
1. Fold the printed page along the horizontal line.
2. Place label in shipping pouch and affix it to your shipment.

Use of this system constitutes your agreement to the service conditions in the current FedEx Service Guide, available on fedex.com. FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1,000, e.g. jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits, see current FedEx Service Guide.

Town of Pound Ridge

Tel.: 914-764-5511

Fax: 914-764-0102



To: Town Board

From: Andrea Russo

Date: July 10, 2025

Re: Cushion Padding for Gaga Pit

I respectfully request permission to purchase safety padding for the Gaga pit the amount of \$6,000 from Wal-Mart or Amazon. Currently, Wal-mart is less expensive, but the concern is that the padding may be sold out. This upgrade is crucial. Currently, campers play on concrete, and the padding will notably reduce common injuries like scraped knuckles and falls. The total cost at Wal-Mart is **\$5,524.48 and the total cost on Amazon is \$5,777.12.** This is within budget and will be posted to camp supplies and expenses budget line.

To offset this expense, I propose using funds from the Memorial Tribute account in honor of Natalie Nordheim. In 2019, the Director of Finance accepted a donation into this fund, and it currently holds **\$725**. I recommend we allocate this amount toward the new padding.

Respectfully,

Andrea Russo

Superintendent of Recreation & Parks

Cart (4 items)

Pickup and delivery options

Continue to checkout



Shipping, arrives by Sat, Jul 19

179 Westchester Ave

Sold and shipped by Rubber-Cal Inc.



Rubber-Cal "Eco-Sport" Interlocking Tiles - 3/4 x 19.5 x 19.5 Inch - 50 Pack - 132 Square Feet Coverage - Green

Actual Color: Green

Count Per Pack: 50

\$5,524.48

Remove

Save for later

-

4

+

Subtotal (4 items)	\$5,524.48
Shipping	Free
Taxes	Calculated at checkout
Estimated total	\$5,524.48

Amazon

Shopping Cart

Price



○

**Rubber-Cal Eco-Sport Interlocking Tiles - 1 x 19.5 x 19.5 Inch - 50 Pack,
132 Sqr/Ft Coverage - Green**

\$1,444.28

- In Stock
- Shipped from: Rubber-Cal
- FREE delivery Jul 22 - 24
- Size: 50-Pack
- Color: Green

Qty:

----- Request quote for 7+Share

Subtotal (4 items): **\$5,777.12**

Board Action: Motion by Councilwoman Sullivan, seconded by Councilman Paschkes, all voting aye on the following:

RESOLVED, that the Town Board hereby authorizes Steve Conti, Director of Finance, to purchase the video camera system along with installation, labor and materials from Get Unplugged Now- A Beacon Wi-Fi Company in the amount of \$12,950.00. The services will cover the Town Park Pool, Town House Reception Area and the Highway Recycling Center.

Councilman Paschkes asked Steve Conti if he discussed the possible FOIL requests that may result because of an incident. He suggested talking to Chief David Ryan regarding this. Councilwoman Sullivan suggested putting up signs stating that there are surveillance cameras at that location.

-authorize Recreation Commission to use funds from Nordheim Trust

* In April 202, the Town Board authorized the Director of Finance to accept donations for Memorial Tributes to Natalie Nordheim, former Recreation Director and Elda Prezioso, a long-time resident of Pound Ridge. The fund currently has \$725 and it was suggested to use it to purchase a permanent game table to be placed in the Town Park. *

RESOLUTION #: 146-19

Board Action: Motion by Councilman Paschkes, seconded by Councilwoman Briggs, all voting aye on the following:

RESOLVED, that the Town Board hereby authorizes Steve Conti, Director of Finance, to disburse the donation fund in the amount of \$725.00 set up for Natalie Nordheim, former Recreation Director and Elda Prezioso, a long-time resident of Pound Ridge, to the Recreation Fund. .

- **Friends of Pound Ridge – request to hang banner**

The Friends of Pound Ridge are hosting a Tailgate Drive-In Movie event on September 7, 2019 and would like authorization to hang a banner over Westchester Avenue promoting the event.

RESOLUTION #: 147 -19

Board Action: Motion by Councilwoman Sullivan, seconded by Councilman Paschkes, all voting aye on the following:



Order #WJ87579111

Placed on: Jul 08, 2025

Billing Information

Erin Trostle
179 Westchester Avenue
Pound Ridge NY 10576

Payment Method: VISA ***8910



Item	Price/Item	Qty	Line Total
Store Pickup (1 item)			
1 Saw Mill River Road 8456, Hawthorne, NY 10532			
Item picked up from store 8456			
Rubber-Cal "Eco-Sport" Interlocking Tiles, Green 3/4 in. x 19.5 in. x 19.5 in. (132 sq.ft, 50 Pack)	\$952.35	4	\$3,809.40
Available: Jul 17 - Jul 22			
Subtotal			\$3,809.40
Pick Up In Store			FREE
Sales Tax			\$0.00
Total			\$3,809.40

Need help?

Online Customer Support:
1-800-430-3376

Call 7 days a week:
6 a.m. to 2 a.m. EST

Town Clerk's Office

MEMORANDUM

To: Town Board
From: Erin Trostle
Cc: Building Inspector Jim Perry
Deputy Town Attorney John Loveless
Date: July 9, 2025
Re: RFQ for clean-up and junk removal services

An RFQ for clean-up and junk removal services at 22 Sherwood Road was issued on June 3, 2025, with submissions due on July 8, 2025.

The RFQ was posted to the town website and was advertised in the New York State Contract Reporter, the Journal-News, and the Poughkeepsie Journal. In addition, RFQ documents were emailed directly to all eight of the carters licensed to collect refuse in the town and to five others who requested them.

Two vendors attended the mandatory site walk-through on June 26, 2025, and one of the two – AAA Carting – submitted a timely complete quote of \$109,999. Because the quote didn't include an estimate of the time needed to complete the job, I called AAA today and was given an estimate of 10 to 15 days.

The quote from AAA Carting, a signed non-collusion statement, and certificates of insurance naming the town as an additional insured are attached here for your review.

Town of Pound Ridge



REQUEST FOR QUOTES (RFQ)

CLEAN-UP AND JUNK REMOVAL SERVICES

Property Address: 22 Sherwood Road, Pound Ridge, NY 10576

DATE ISSUED: June 3, 2025

SUBMISSIONS DUE: July 8, 2025

PURPOSE

The Town of Pound Ridge is soliciting competitive quotes from qualified contractors for clean-up and junk removal services at 22 Sherwood Road, a private property that is currently in violation of the Town Code. This effort is to remedy public health and safety issues, improve neighborhood conditions, and return the property to compliance.

SCOPE OF WORK

The contractor will be responsible for the following:

- Removing litter as defined in Town Code § 72-2:
 - (1) *Garbage, refuse and rubbish.*
 - (2) *All waste materials customarily handled and collected by refuse collectors or junk dealers.*
 - (3) *Items known as "junk," regardless of size, discarded or abandoned by reason of obsolescence, age or state of repair or intended to be discarded, abandoned or junked, including but not limited to discarded household furnishings and appliances, crates, boxes, cartons, building materials, vehicles, machines, farm equipment, parts of vehicles or machines or equipment*
 - (4) *Signs, handbills, discarded reading material, newspapers, magazines and similar paper goods.*
 - (5) *Cans, containers, boxes, cartons and wrappers, with or without the contents.*
 - (6) *Leaves, branches, shrubs, brush, grass clippings, roots and other decomposable botanical matter not originating from the property, and earth or fill (other than that used as grading material on the property) and rocks, brick and all other various types of construction materials.*
- Removing at least twelve (12) derelict unlicensed vehicles in accordance with Town Code § 72-15; i.e., in a manner *"in addition to and not in substitution of the remedies available to the Town under any state or local law empowering the Town to remove and dispose of such vehicles"*
- Disposing of all materials at appropriate licensed facilities
- Submitting dump receipts
- Submitting "after" photos or requesting a visual inspection upon completion
- Providing all necessary permits, labor, trucks, equipment, and tools
- Managing hazardous materials (if applicable) following legal disposal protocols

**A MANDATORY SITE WALKTHROUGH WILL BE HELD ON THURSDAY, JUNE 26, 2025 AT 1:00 PM.
BIDDERS MUST ATTEND IN ORDER TO SUBMIT A QUOTE.**

MINIMUM QUALIFICATIONS

- Minimum of three (3) years in the junk removal business or equivalent principal experience
- No recent code violations in Westchester County
- Capacity to complete work promptly
- Knowledge of safe disposal of hazardous materials

INSURANCE REQUIREMENTS

- General Liability: \$1,000,000 per occurrence; \$2,000,000 aggregate
- Umbrella Liability: \$1,000,000
- Automobile Liability: \$1,000,000 per accident
- Workers Compensation with Waiver of Subrogation
- Policy endorsement naming the Town of Pound Ridge as an additional insured on a primary, non-contributory basis

SELECTION CRITERIA

- Cost competitiveness (50%)
- Contractor experience and qualifications (20%)
- Capacity and equipment (15%)
- Project approach and understanding (15%)

The Town reserves the right to select multiple vendors or none. Selected contractors may be placed on a roster for future on-call services.

SUBMISSION INSTRUCTIONS

- Submissions must include the following:
 1. completed questionnaire
 2. signed non-collusion statement
 3. certificate of insurance naming the Town of Pound Ridge as an additional insured
- Submit one (1) electronic copy with the subject line "RFQ – Clean-Up and Junk Removal Services" to townclerk@townofpoundridge.com
- Submit one (1) hard copy clearly marked "RFQ – Clean-Up and Junk Removal Services" to the following address:

Erin Trostle, Town Clerk
179 Westchester Avenue
Pound Ridge, NY 10576
- Submission deadline is **4:30pm on July 8, 2025.**

QUESTIONS

Please submit any questions via email no later than July 1, 2025 to townclerk@townofpoundridge.com). Any responses will be provided in the form of an addendum sent to all bidders.

AFFIDAVIT OF PUBLICATION

State of Wisconsin
County of Brown

Linda Tutt being duly sworn, deposes and says she is the Principal Clerk of **The Journal News**, Division of Gannett Newspaper Subsidiary, publishers of following newspaper published in Westchester and Rockland Counties, State of New York, of which annexed is a printed copy, out from said newspaper has been published in said newspaper editions dated:

06/05/2025

Linda Tutt

Subscribed and sworn to before me this 05 day of June, 2025

Nancy Heyrman

Notary Public
State of Wisconsin, County of Brown

Nancy Heyrman
Notary Public, State of Wisconsin
Commission Expires,

5.15.27

TOWN OF POUND RIDGE
REQUEST FOR QUOTES
(RFQ) CLEAN-UP AND
JUNK REMOVAL SERVICES
Property Address: 22 Sher-
wood Road, Pound Ridge, NY
10576
DATE ISSUED: June 3, 2025
SUBMISSIONS DUE: July 8,
2025

The Town of Pound Ridge is soliciting competitive quotes from qualified contractors for clean-up and junk removal services at 22 Sherwood Road, a private property that is currently in violation of the Town Code. This effort is to remedy public health and safety issues, improve neighborhood conditions, and return the property to compliance.

The contractor will be responsible for the following:

Removing litter as defined in Town Code § 72-2: (1) Garbage, refuse and rubbish, (2) All waste materials customarily handled and collected by refuse collectors or junk dealers, (3) Items known as "junk," regardless of size, discarded or abandoned by reason of obsolescence, age or state of repair or intended to be discarded, abandoned or junked, including but not limited to discarded household furnishings and appliances, crates, boxes, cartons, building materials, vehicles, machines, farm equipment, parts of vehicles or machines or equipment, (4) Signs, handbills, discarded reading material, newspapers, magazines and similar paper goods, (5) Cans, containers, boxes, cartons and wrappers, with or without the contents, (6) Leaves, branches, shrubs, brush, grass clippings, roots and other decomposable botanical matter not originating from the property, and earth or fill (other than that used as grading material on the property) and rocks, brick and all other various types of construction materials.

Removing at least twelve (12) derelict unlicensed vehicles in accordance with Town Code § 72-15; i.e., in a manner "in addition to and not in substitution of the remedies available to the Town under any state or local law empowering the Town to remove and dispose of such vehicles"

Disposing of all materials at appropriate licensed facilities-

Submitting dump receipts

Submitting "after" photos or requesting a visual inspection upon completion

Providing all necessary permits, labor, trucks, equipment, and tools

Managing hazardous materials (if applicable) following legal disposal protocols

Additional information and required forms are available at townofpoundridge.com and may also be obtained by emailing the Town Clerk at townclerk@townofpoundridge.com or by calling 914-764-5549.

June 5 2025
LNYS0309557

AFFIDAVIT OF PUBLICATION

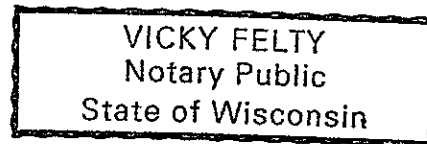
State of New York
County of Dutchess

[Signature] being duly sworn, deposes and says she is the Principal Clerk of The Poughkeepsie Journal, Division of Gannett Newspaper Subsidiary, publishers of following newspaper and published in the County of Dutchess and the State of New York, of which annexed is a printed copy, out from said newspaper has been published in said newspaper editions dated:

06/05/2025

Subscribed and sworn to before me this 05 day of June, 2025

Notary Public
State of Wisconsin, County of Brown



9/19/25 ep

TOWN OF POUND RIDGE
REQUEST FOR QUOTES
(RFQ) CLEAN-UP AND
JUNK REMOVAL SERVICES
Property Address: 22 Sherwood Road, Pound Ridge, NY 10576

DATE ISSUED: June 3, 2025
SUBMISSIONS DUE: July 8, 2025

The Town of Pound Ridge is soliciting competitive quotes from qualified contractors for clean-up and junk removal services at 22 Sherwood Road, a private property that is currently in violation of the Town Code. This effort is to remedy public health and safety issues, improve neighborhood conditions, and return the property to compliance.

The contractor will be responsible for the following:

Removing litter as defined in Town Code § 72-2: (1) Garbage, refuse and rubbish, (2) All waste materials customarily handled and collected by refuse collectors or junk dealers, (3) Items known as "junk," regardless of size, discarded or abandoned by reason of obsolescence, age or state of repair or intended to be discarded, abandoned or junked, including but not limited to discarded household furnishings and appliances, crates, boxes, cartons, building materials, vehicles, machines, farm equipment, parts of vehicles or machines or equipment, (4) Signs, handbills, discarded reading material, newspapers, magazines and similar paper goods, (5) Cans, containers, boxes, cartons and wrappers, with or without the contents, (6) Leaves, branches, shrubs, brush, grass clippings, roots and other decomposable botanical matter not originating from the property, and earth or fill (other than that used as grading material on the property) and rocks, brick and all other various types of construction materials.

Removing at least twelve (12) derelict unlicensed vehicles in accordance with Town Code § 72-15; i.e., in a manner "in addition to and not in substitution of the remedies available to the Town under any state or local law empowering the Town to remove and dispose of such vehicles"

Disposing of all materials at appropriate licensed facilities-
Submitting dump receipts

Submitting "after" photos or requesting a visual inspection upon completion

Providing all necessary permits, labor, trucks, equipment, and tools

Managing hazardous materials (if applicable) following legal disposal protocols

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June 5 2025

LNYS0309599



The New York State Contract Reporter

*NYS' official source of contracting opportunities
Bringing business and government together*

This document printed
Tuesday, 06/03/2025

Contracting Opportunity

* * * This ad has not been published. It has been reviewed and pending publication. * * *

Title: Clean-up and Junk Removal Services
Agency: Pound Ridge, Town of
Division: Westchester County
Contract Number: TBD
CR Number: 2123116
Contract Term: TBD
Date of Issue: 06/04/2025
Due Date/Time: 07/08/2025 4:30 PM
There will be a mandatory site visit on June 26, 2025 at 1:00pm.
County(ies): Westchester
Location: 22 Sherwood Road, Pound Ridge, NY 10576
Classification: Miscellaneous - *Consulting & Other Services*
Opportunity Type: General
Entered By: Erin Trostle
Description: **Property Address: 22 Sherwood Road, Pound Ridge, NY 10576**

PURPOSE

The Town of Pound Ridge is soliciting competitive quotes from qualified contractors for clean-up and junk removal services at 22 Sherwood Road, a private property that is currently in violation of the Town Code. This effort is to remedy public health and safety issues, improve neighborhood conditions, and return the property to compliance.

SCOPE OF WORK

The contractor will be responsible for the following:

- Removing litter as defined in Town Code § 72-2:
 - (1) Garbage, refuse and rubbish,
 - (2) All waste materials customarily handled and collected by refuse collectors or junk dealers,
 - (3) Items known as "junk," regardless of size, discarded or abandoned by reason of obsolescence, age or state of repair or intended to be discarded, abandoned or junked, including but not limited to discarded household

furnishings and appliances, crates, boxes, cartons, building materials, vehicles, machines, farm equipment, parts of vehicles or machines or equipment,

(4) Signs, handbills, discarded reading material, newspapers, magazines and similar paper goods,

(5) Cans, containers, boxes, cartons and wrappers, with or without the contents,

(6) Leaves, branches, shrubs, brush, grass clippings, roots and other decomposable botanical matter not originating from the property, and earth or fill (other than that used as grading material on the property) and rocks, brick and all other various types of construction materials.

- Removing at least twelve (12) derelict unlicensed vehicles in accordance with Town Code § 72-15; i.e., in a manner “in addition to and not in substitution of the remedies available to the Town under any state or local law empowering the Town to remove and dispose of such vehicles”
- Disposing of all materials at appropriate licensed facilities
- Submitting dump receipts
- Submitting "after" photos or requesting a visual inspection upon completion
- Providing all necessary permits, labor, trucks, equipment, and tools
- Managing hazardous materials (if applicable) following legal disposal protocols

Additional information and required forms are attached. These may also be obtained by emailing the Town Clerk at townclerk@townofpoundridge.com or by calling 914-764-5549.

Service-Disabled Veteran-Owned Set Aside: No

Minority Owned Sub-Contracting Goal: 0%

Women Owned Sub-Contracting Goal: 0%

Service-Disabled Veteran-Owned Business Contracting Goal: 0%

Disadvantaged Owned Sub-Contracting Goal: 0%

Business entities awarded an identical or substantially similar procurement contract within the past five years:

none

Contact Information

Primary contact: Pound Ridge, Town of
Westchester County
Erin Trostle
Town Clerk
Town House
179 Westchester Avenue
Pound Ridge, NY 10576
United States
Ph: 914-764-5212
townclerk@townofpoundridge.com

Submit to contact: Pound Ridge, Town of
Westchester County
Erin Trostle
Town Clerk
Town House
179 Westchester Avenue
Pound Ridge, NY 10576
United States
Ph: 914-764-5212
townclerk@townofpoundridge.com

Supporting document(s) shown below:

The following supporting documents are available for download:

Document title	Description	Type
Non-Collusion form	form to be returned as part of quote submission	pdf
Request for Quotes (RFQ) - complete info	contains additional info and instructions not included in ad	pdf
RFQ Questionnaire	questionnaire to be returned as part of quote submission	pdf

To download these documents, please visit the New York State Contract Reporter website: <http://www.nyscr.ny.gov>

© 2025, Empire State Development <http://www.esd.ny.gov/>

Town of Pound Ridge



QUESTIONNAIRE

RFQ for Clean-Up and Junk Removal Services

1. Principal Contact

Name:	Seth Turner
Business:	AAA Carting + Rubbish Removal Inc
Address:	3 Greentown Rd Buchanan, NY 10511
Phone:	914-739-9527
Email:	Seth@AAACarting.com

2. Project Team

List all employees, project leaders, contractors, and subcontractors you will employ or partner with, and indicate their experience providing clean-up and junk removal services as described in the RFQ. Attach additional pages if necessary.

Pat Cortelezi - 20 years
Angela Cortelezi - 20 years
Seth Turner - 30 years
Jose L Inga - 25 years
Jose R Inga - 25 years

3. Capacity

- a. Indicate the type and number of trucks, trailers, and other vehicles or equipment (i.e., backhoes, track hoes, loaders, etc.) available to you for this project.

50 Trucks	Over 800 Roll-off Containers
1 Excavator	
1 wheel loader	
1 Skid Steer	

- b. Indicate the number of cleanup requests you are able to fulfill each month, and provide either a description or measure of an average job.

AAA Caring can handle all Cleanup Requests

4. Procedures

- a. Briefly describe your procedure for cleaning up waste, refuse, and debris from a property

All material will be loaded in roll off container and delivered to proper Disposal Sites

- b. Indicate what types of items are salvaged or recycled and where they go, specifying how much material will be reused, recycled, refurbished, etc., and how much will go to a landfill.

Metal + Cardboard Recycled All other Material to landfill

5. Hazardous Material Experience

- a. Describe your experience and knowledge of hazardous material disposal (i.e. asbestos, paints, flammables, chemicals, batteries, etc.).

We have experience doing Jobs for NY SOGS and many Private Clients

- b. Indicate any specific procedures for disposal of hazardous materials.

Follow rules of Part 364 license

Project Quote

Bidders must submit a quote either in the form of a detailed estimate or as a flat rate for the entire job. Preference will be given to a flat rate.

Option 1: Detailed Estimate (attach additional pages if necessary)

		Price/ton	Estimated # of tons	Estimated total debris removal cost
Debris removal, including towing and disposal				

		Price/item	Estimated # of items	Estimated total hazardous waste cost
Hazardous waste removal	Type			

		Price/hour	Estimated # of hours	Estimated total equipment cost
Equipment	Type			

		Price/hour	Estimated # of hours	Estimated total labor cost
Labor	Role			

Salvage deduction* \$

* Describe the procedure you will use to calculate a discount based on the materials that may be salvaged. Salvage activity shall not include the removal of any architectural or structural materials or any items considered part of the building or real property.

Grand total estimated cost (total costs less salvage deduction) \$

Option 2: Flat rate

Provide a quote for performing the entire job described in the RFP, factoring

In any salvage deduction:\$ 109,999.⁰⁰

Town of Pound Ridge



STATEMENT OF NON-COLLUSION BY BIDDER

Pursuant to section 103-D General Municipal Law by submission of this bid or proposal, the bidder certifies as follows:

- (A) This bid or proposal has been independently arrived at without collusion with any other bidder or with any competitor or potential competitor;
- (B) This bid or proposal has not been knowingly disclosed, prior to the opening of bids or proposals for this project, to any other bidder, competitor, or potential competitor;
- (C) No attempt has been made or will be made to induce any other person, partnership, or corporation to submit or not to submit a bid or proposal;
- (D) The person signing this bid or proposal certifies that he or she has fully informed him- or herself regarding the accuracy of the statements contained in this certification, and under penalty of perjury, affirms the truth thereof, such penalties being applicable to the bidder as well as to the person signing on the bidder's behalf.

Date: 7/8/25

Name of Authorized Signer: Seth Turner

Authorized Signature: [Signature]

Company Name: AAA Carting + Rubbish Removal Inc

Company Address: 3 Greentown Rd Buchanan, NY 10511

Business Telephone: 914 739 9527

Email Address: Seth @ AAA Carting - com

Federal Tax ID #: 134068572



AAACART-01

EMORAN

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
7/18/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Enforce Coverage Group, LLC 425 New York Avenue Suite 106 Huntington, NY 11743	CONTACT NAME: Patrick J. Ryder		
	PHONE (A/C, No, Ext):	FAX (A/C, No): (212) 629-0008	
	E-MAIL ADDRESS: pryder@enforcecoverage.com		
INSURED AAA Carting & Rubbish Removal, Inc. 3 GREENTOWN RD. Buchanan, NY 10511	INSURER(S) AFFORDING COVERAGE		NAIC #
	INSURER A : Houston Casualty Company		42374
	INSURER B : IMPERIUM INSURANCE COMPANY		35408
	INSURER C : Upland Specialty Insurance Company		16988
	INSURER D :		
	INSURER E :		
	INSURER F :		

COVERAGES

CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC <input type="checkbox"/> OTHER:	X	X	ECAP6-HS-GL-000227-03	1/18/2025	1/18/2026	EACH OCCURRENCE \$ 1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000
							MED EXP (Any one person) \$ 5,000
							PERSONAL & ADV INJURY \$ 1,000,000
							GENERAL AGGREGATE \$ 2,000,000
							PRODUCTS - COMP/OP AGG \$ 2,000,000
B	AUTOMOBILE LIABILITY ANY AUTO OWNED AUTOS ONLY <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY			ECAP6-IIC-CA-000227-03	1/18/2025	1/18/2026	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
							BODILY INJURY (Per person) \$
							BODILY INJURY (Per accident) \$
							PROPERTY DAMAGE (Per accident) \$
C	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> DED <input type="checkbox"/> RETENTION \$	X	X	USXTL0884525	2/26/2025	2/26/2026	EACH OCCURRENCE \$ 5,000,000
							AGGREGATE \$ 5,000,000
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in N.Y.) <input type="checkbox"/> Y/N If yes, describe under DESCRIPTION OF OPERATIONS below		N/A				PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/>
							E.L. EACH ACCIDENT \$
							E.L. DISEASE - EA EMPLOYEE \$
							E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
PROOF OF INSURANCE

ADDITIONAL INSURED:

Town of Pound Ridge
179 Westchester Avenue
Pound Ridge, NY 10576

CERTIFICATE HOLDER

Town of Pound Ridge
179 Westchester Avenue
Pound Ridge, NY 10576

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE



**Workers'
Compensation
Board**

**CERTIFICATE OF
NYS WORKERS' COMPENSATION INSURANCE COVERAGE**

1a. Legal Name & Address of Insured (use street address only) AAA Carting & Rubbish Removal, Inc. 480 Furnace Dock Road Cortlandt Manor, NY 10567 <i>Work Location of Insured (Only required if coverage is specifically limited to certain locations in New York State, i.e., a Wrap-Up Policy)</i>	1b. Business Telephone Number of Insured (914) 739-9527 1c. NYS Unemployment Insurance Employer Registration Number of Insured 1d. Federal Employer Identification Number of Insured or Social Security Number 13-4068572
2. Name and Address of Entity Requesting Proof of Coverage (Entity Being Listed as the Certificate Holder) Town of Pound Ridge 179 Westchester Avenue Pound Ridge, NY 10576	3a. Name of Insurance Carrier - IMPERIUM INSURANCE CO. 3b. Policy Number of Entity Listed in Box "1a" ECAP6-IIC-WC-000238-03 3c. Policy effective period 04/01/2025 to 04/01/2026 3d. The Proprietor, Partners or Executive Officers are <input type="checkbox"/> included. (Only check box if all partners/officers included) <input checked="" type="checkbox"/> all excluded or certain partners/officers excluded.

This certifies that the insurance carrier indicated above in box "3" insures the business referenced above in box "1a" for workers' compensation under the New York State Workers' Compensation Law. **(To use this form, New York (NY) must be listed under Item 3A on the INFORMATION PAGE of the workers' compensation insurance policy).** The Insurance Carrier or its licensed agent will send this Certificate of Insurance to the entity listed above as the certificate holder in box "2".

Will the carrier notify the certificate holder within 10 days of a policy being cancelled for non-payment of premium or within 30 days if cancelled for any other reason or if the insured is otherwise eliminated from the coverage indicated on this certificate prior to the end of the policy effective period? ☒ YES ☐ NO

This certificate is issued as a matter of information only and confers no rights upon the certificate holder. This certificate does not amend, extend or alter the coverage afforded by the policy listed, nor does it confer any rights or responsibilities beyond those contained in the referenced policy.

This certificate may be used as evidence of a Workers' Compensation contract of insurance only while the underlying policy is in effect.

Please Note: Upon cancellation of the workers' compensation policy indicated on this form, if the business continues to be named on a permit, license or contract issued by a certificate holder, the business must provide that certificate holder with a new Certificate of Workers' Compensation Coverage or other authorized proof that the business is complying with the mandatory coverage requirements of the New York State Workers' Compensation Law.

Under penalty of perjury, I certify that I am an authorized representative or licensed agent of the insurance carrier referenced above and that the named insured has the coverage as depicted on this form.

Approved by: Patrick Ryder

(Print name of authorized representative or licensed agent of insurance carrier)

Approved by: _____

Patrick Ryder
(Signature)

7/8/2025

(Date)

Title: Managing Partner

Telephone Number of authorized representative or licensed agent of insurance carrier: 212-947-4298

Please Note: Only insurance carriers and their licensed agents are authorized to issue Form C-105.2. Insurance brokers are NOT authorized to issue it.

Workers' Compensation Law

Section 57. Restriction on issue of permits and the entering into contracts unless compensation is secured.

1. The head of a state or municipal department, board, commission or office authorized or required by law to issue any permit for or in connection with any work involving the employment of employees in a hazardous employment defined by this chapter, and notwithstanding any general or special statute requiring or authorizing the issue of such permits, shall not issue such permit unless proof duly subscribed by an insurance carrier is produced in a form satisfactory to the chair, that compensation for all employees has been secured as provided by this chapter. Nothing herein, however, shall be construed as creating any liability on the part of such state or municipal department, board, commission or office to pay any compensation to any such employee if so employed.
2. The head of a state or municipal department, board, commission or office authorized or required by law to enter into any contract for or in connection with any work involving the employment of employees in a hazardous employment defined by this chapter, notwithstanding any general or special statute requiring or authorizing any such contract, shall not enter into any such contract unless proof duly subscribed by an insurance carrier is produced in a form satisfactory to the chair, that compensation for all employees has been secured as provided by this chapter.



CERTIFICATE OF INSURANCE COVERAGE NYS DISABILITY AND PAID FAMILY LEAVE BENEFITS LAW

PART 1. To be completed by NYS disability and Paid Family Leave benefits carrier or licensed insurance agent of that carrier

1a. Legal Name & Address of Insured (use street address only) AAA CARTING & RUBBISH REMOVAL INC 480 FURNACE DOCK RD CORTLANDT MANOR, NY 10567 Work Location of Insured (Only required if coverage is specifically limited to certain locations in New York State, i.e., Wrap-Up Policy)	1b. Business Telephone Number of Insured (914) 739-9527 1c. Federal Employer Identification Number of Insured or Social Security Number 134068572
2. Name and Address of Entity Requesting Proof of Coverage (Entity Being Listed as the Certificate Holder) Town of Pound Ridge 179 Westchester Avenue Pound Ridge, NY 10576	3a. Name of Insurance Carrier ShelterPoint Life Insurance Company 3b. Policy Number of Entity Listed in Box "1a" DBL576076 3c. Policy effective period 01/01/2025 to 12/31/2026


4. Policy provides the following benefits:

- ☒ A. Both disability and paid family leave benefits.
☐ B. Disability benefits only.
☐ C. Paid family leave benefits only.

5. Policy covers:

- ☒ A. All of the employer's employees eligible under the NYS Disability and Paid Family Leave Benefits Law.
☐ B. Only the following class or classes of employer's employees:

Under penalty of perjury, I certify that I am an authorized representative or licensed agent of the insurance carrier referenced above and that the named insured has NYS Disability and/or Paid Family Leave Benefits insurance coverage as described above.

Date Signed 7/8/2025 By 
(Signature of insurance carrier's authorized representative or NYS Licensed Insurance Agent of that insurance carrier)

Telephone Number 516-829-8100 Name and Title Leston Welsh, Chief Executive Officer

IMPORTANT: If Boxes 4A and 5A are checked, and this form is signed by the insurance carrier's authorized representative or NYS Licensed Insurance Agent of that carrier, this certificate is COMPLETE. Mail it directly to the certificate holder.

If Box 4B, 4C or 5B is checked, this certificate is NOT COMPLETE for purposes of Section 220, Subd. 8 of the NYS Disability and Paid Family Leave Benefits Law. It must be emailed to PAU@wcb.ny.gov or it can be mailed for completion to the Workers' Compensation Board, Plans Acceptance Unit, PO Box 5200, Binghamton, NY 13902-5200.

PART 2. To be completed by the NYS Workers' Compensation Board (Only if Box 4B, 4C or 5B have been checked)

State of New York Workers' Compensation Board

According to information maintained by the NYS Workers' Compensation Board, the above-named employer has complied with the NYS Disability and Paid Family Leave Benefits Law (Article 9 of the Workers' Compensation Law) with respect to all of their employees.

Date Signed _____ By _____
(Signature of Authorized NYS Workers' Compensation Board Employee)

Telephone Number _____ Name and Title _____

Please Note: Only insurance carriers licensed to write NYS disability and paid family leave benefits insurance policies and NYS licensed insurance agents of those insurance carriers are authorized to issue Form DB-120.1. Insurance brokers are NOT authorized to issue this form.



Additional Instructions for Form DB-120.1

By signing this form, the insurance carrier identified in Box 3 on this form is certifying that it is insuring the business referenced in Box 1a for disability and/or Paid Family Leave benefits under the NYS Disability and Paid Family Leave Benefits Law. The insurance carrier or its licensed agent will send this Certificate of Insurance Coverage (Certificate) to the entity listed as the certificate holder in Box 2.

The insurance carrier must notify the above certificate holder and the Workers' Compensation Board within 10 days IF a policy is cancelled due to nonpayment of premiums or within 30 days IF there are reasons other than nonpayment of premiums that cancel the policy or eliminate the insured from coverage indicated on this Certificate. (These notices may be sent by regular mail.) Otherwise, this Certificate is valid for one year after this form is approved by the insurance carrier or its licensed agent, or until the policy expiration date listed in Box 3c, whichever is earlier.

This Certificate is issued as a matter of information only and confers no rights upon the certificate holder. This Certificate does not amend, extend or alter the coverage afforded by the policy listed, nor does it confer any rights or responsibilities beyond those contained in the referenced policy.

This Certificate may be used as evidence of a NYS disability and/or Paid Family Leave benefits contract of insurance only while the underlying policy is in effect.

Please Note: Upon the cancellation of the disability and/or Paid Family Leave benefits policy indicated on this form, if the business continues to be named on a permit, license or contract issued by a certificate holder, the business must provide that certificate holder with a new Certificate of Insurance Coverage for NYS disability and/or Paid Family Leave Benefits or other authorized proof that the business is complying with the mandatory coverage requirements of the NYS Disability and Paid Family Leave Benefits Law.

NYS DISABILITY AND PAID FAMILY LEAVE BENEFITS LAW

§220. Subd. 8

(a) The head of a state or municipal department, board, commission or office authorized or required by law to issue any permit for or in connection with any work involving the employment of employees in employment as defined in this article, and notwithstanding any general or special statute requiring or authorizing the issue of such permits, shall not issue such permit unless proof duly subscribed by an insurance carrier is produced in a form satisfactory to the chair, that the payment of disability benefits and after January first, two thousand and twenty-one, the payment of family leave benefits for all employees has been secured as provided by this article. Nothing herein, however, shall be construed as creating any liability on the part of such state or municipal department, board, commission or office to pay any disability benefits to any such employee if so employed.

(b) The head of a state or municipal department, board, commission or office authorized or required by law to enter into any contract for or in connection with any work involving the employment of employees in employment as defined in this article and notwithstanding any general or special statute requiring or authorizing any such contract, shall not enter into any such contract unless proof duly subscribed by an insurance carrier is produced in a form satisfactory to the chair, that the payment of disability benefits and after January first, two thousand eighteen, the payment of family leave benefits for all employees has been secured as provided by this article.

Town Clerk's Office

MEMORANDUM

To: Town Board
From: Erin Trostle
Cc: Vinnie Duffield
Date: July 9, 2025
Re: Sale of cemetery plot

Please authorize the sale of Plot 213-A1 in Section 2 of the Pound Ridge Cemetery to former Pound Ridge resident Lorraine F. Moller, of 36 Linden Shores, Branford, CT 06405, at a price of \$1,000.

CEMETERY PLOT DEED

One Gravesite – Plot #213-A1, Section 2

This Indenture, made the 15th day of July in the year of our Lord Two thousand and twenty-five between the **TOWN OF POUND RIDGE**, a municipal corporation existing under the Laws of the State of New York, party of the first part, and Lorraine F. Moller, of 36 Linden Shores, Branford, CT 06405, party of the second part,

WITNESSETH, that the party of the first part, in consideration of **One thousand dollars** to it paid on behalf of the party of the second part, the receipt of which is hereby acknowledged, does hereby grant, bargain, sell, and convey to the said party of the second part, her heirs and assigns, the use of the **Plot #213-A1** of land as a place for the burial of the dead in the cemetery of said Town, called "Pound Ridge Cemetery" situated at Pound Ridge, in the County of Westchester; which lots described as **Plot #213-A1** on a certain map entitled "Map showing Section Two Pound Ridge Cemetery," made by Walter K. Goodhue, E.E., New Canaan, CT dated December 4, 1941, and recorded in the office of the Clerk of Westchester County (Division of Land Records) on the 26th day of January 1942, and known as map number 5520.

TO HAVE AND TO HOLD, the above granted premises to the said party of the second part, her heirs and assigns, forever; subject, however that burial shall be in concrete or metal vault and all foundations for monuments shall be of poured concrete, not less than 42" in depth, and subject to the conditions, restrictions, rules, and regulations heretofore affecting this cemetery or as may be hereafter passed by the Town of Pound Ridge, its successors or assigns, for the government and control of the use of the **Plot #213-A1** hereby hold, and subject also to the Laws of the State of New York relating to the use and ownership of lots and graves in cemeteries created under the Laws of said State. This instrument may not be sold, assigned, conveyed, or transferred to any person, corporation, partnership, or other entity. Unused plots shall be transferable only to the Town of Pound Ridge with the repurchase price in such case to be the original purchase price but in no case less than \$150.00 per plot.

IN TESTIMONY WHEREOF, the said party of the first part has caused this DEED to be signed by its Supervisor and Town Clerk, and its corporate seal to be hereunto affixed, the day and year first above written.

(LS)
SUPERVISOR Town of Pound Ridge, New York

(LS)
TOWN CLERK Town of Pound Ridge, New York

State of New York }
County of Westchester } ss:
Town of Pound Ridge }

On the 15th day of July, Two thousand and twenty-five, before me came Kevin C. Hansan and Erin Trostle, to me known, who being by me duly sworn, did depose and say that they reside in the Town of Pound Ridge, NY, that they are the Supervisor and Town Clerk respectively of the Town of Pound Ridge, NY, the municipal corporation described in, and which executed, the foregoing instrument; that they know the seal of said corporation; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the Town Board of the Town of Pound Ridge, NY; and that they signed their names thereto by like order.

Notary Public

Town Clerk's Office

MEMORANDUM

To: Town Board
From: Erin Trostle
Cc: PRBA President Lisa Miller
Police Chief Tom Mulcahy
Date: July 10, 2025
Re: Labor Day Artisan & Vintage Flea

Attached for your review is a special event permit application from the Pound Ridge Business Association for its annual Labor Day Artisan & Vintage Flea.

Please note that the traffic plan has been revised per Chief Mulcahy's specifications. All traffic traveling toward Connecticut on Westchester Avenue will be detoured at Upper Shad Road, and Westchester Avenue will be closed at Avant Garden.

Chief Mulcahy also stressed that parking attendants must be on site prior to the start of the event to prevent parking problems at the market. It is my understanding that the PRBA intends to have parking attendants on site prior to vendor setup.



SPECIAL EVENT PERMIT APPLICATION

APPLICANT INFORMATION

The **applicant** is the individual, group, or entity organizing the event. Examples of applicant type include nonprofit organization, town board or commission, school club, etc.

Applicant Name:	PRBA
Applicant Type:	
Address:	PO Box 168
Mailing Address:	Pound Ridge, NY 10576
Phone Number:	914-282-9582
Email Address:	presidentprba@gmail.com

EVENT INFORMATION

In addition to indicating event **type** (eg, street fair, festival, road race, parade, concert, etc.), please provide a detailed event description. Examples of event **purpose** include fundraising, promoting awareness, providing education, building community spirit, promoting local businesses, etc. *If the event is a fundraiser, the purpose should include information about how the resulting funds will be used.* Identify all locations where event activity will take place, including parking.

Event Name:	Artisan & Vintage Flea
Event Type:	Street Fair
Description:	Artisans and Vintage Vendors & Food
Purpose:	To promote awareness to the business district

Event Date:	Sept. 1	Alternate Date:	None
Event Start Time:	10:00	Event End Time:	4:00
Setup Start Time:	7:00	Setup End Time:	10:00
Takedown Start:	4:00	Takedown End:	5:00

Location(s):	Westchester Avenue & The Market Square		
On private property?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
Parking location(s):	Throughout town, Town Park, The Market		
On private property?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	

Road closure(s) requested:	Yes
Closure times requested:	8:00-5:00

Admission fee?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Parking fee?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

VENDORS/LICENSES

Will the event include food and/or beverage vendors?		
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Number, if any: 8
Will any food or beverages be served without charge in conjunction with the event?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Will the event include non-food vendors?		
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Number, if any: 75
Will the event include alcoholic beverage vendors?		
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Number, if any: 3
Will any alcohol be served without charge in conjunction with the event?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Will the event include gambling of any kind?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	

Please note that it is the applicant's responsibility to ensure that any vendors have all required licenses and/or permits.

CONTACTS

Primary Contact Name:	Lisa Miller		
Cell Phone Number:	914-282-9582	Email Address:	presidentprba@gamil.com
Event Day Contact Name:	same as above		
Cell Phone Number:		Email Address:	
Weather Contact Name:	same as above		
Cell Phone Number:		Email Address:	

Note that the weather contact person must be on site throughout the event, and also that it is the responsibility of the organizer to communicate postponements and cancellations to the public.

Please indicate how decisions regarding postponement or cancellation will be made, and how you will respond if sudden severe weather develops while the event is in progress:

--

LOGISTICS

CROWD MANAGEMENT

Anticipated attendance:	2,000	
Describe crowd control plan:	Police present & Parking Attendants	
Describe perimeter control plan:		
Emergency services present?	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Will event be ADA compliant?	<input type="checkbox"/> Yes	<input type="checkbox"/> No

VOLUNTEERS

Indicate number of volunteers:	10
Describe role(s) of volunteers:	

SANITATION/GARBAGE		
Portable toilets provided:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If so, how many?	4-5	
Garbage/recycling bins provided?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Describe garbage/recycling plan:	Mantaniance Department will provide	

NEIGHBORHOOD IMPACT/NOTIFICATION		
Will there be noise impacts?	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Will there be amplified music?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Will there be light impacts?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Have neighbors been notified?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

STRUCTURES/SAFETY		
Tents or canopies?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please describe:	10'x10' tents	
Stage or other structures?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		
Fireworks or open flame?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		

UTILITIES		
Water access needed?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		
Electricity needed?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please describe:	Food Vendors-Village green electricity	
WiFi access needed?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please indicate # of users:		

PROMOTION		
Banner permission requested?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please indicate location and dates:	Westchester Ave 8/21-9/2	
Other signage?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please describe:	Road Signs	

TOWN RESOURCES		
Town bus needed?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please indicate time:	10:00-5:00	
Barricades or cones needed?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please specify:	The Market, Area between BreadsnBakes and La Familia, Westchester Ave	
Other town-owned property needed?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please specify:	Village Green	

OUTSIDE RESOURCES		
Outside bus transportation?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		
Outside parking assistance?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please describe:	The Market Square	
Other outside resources?	<input type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please describe:		

SUPPORTING DOCUMENTS

MAPS/PLANS

Event Site Plan

☒ Yes

☐ No

The Event Site Plan should include locations of the following if applicable: stages/tents, power/water sources, portable toilets, accessible toilets, medical aid locations, admission sales area, alcohol sales/services, pedestrian pathways, entrances/exits, vendors/riders.

PLEASE ATTACH

Parking/Traffic Plan

☒ Yes

☐ No

The Parking/Traffic Plan should include locations of the following if applicable: road closures, traffic patterns, bus routes/stops, parking payment area, attendee parking, accessible parking, vendor parking, volunteer parking.

* PLEASE ATTACH*

LEGAL DOCUMENTS

Insurance Certificate(s)

☒ Yes

☐ No

Indemnity Agreement(s)

☐ Yes

☐ No

Permits/Licenses (other than for vendors)

☐ Yes

☐ No

Please note that it is the applicant's responsibility to obtain insurance naming the town as an additional insured.

DEPOSIT/FEEES

Damage Deposit Paid (Indicate Amount):

Waiver Requested:

☐ Yes

☐ No

Application Fee Paid (Indicate Amount):

Waiver Requested:

☐ Yes

☐ No

ENDORSEMENT

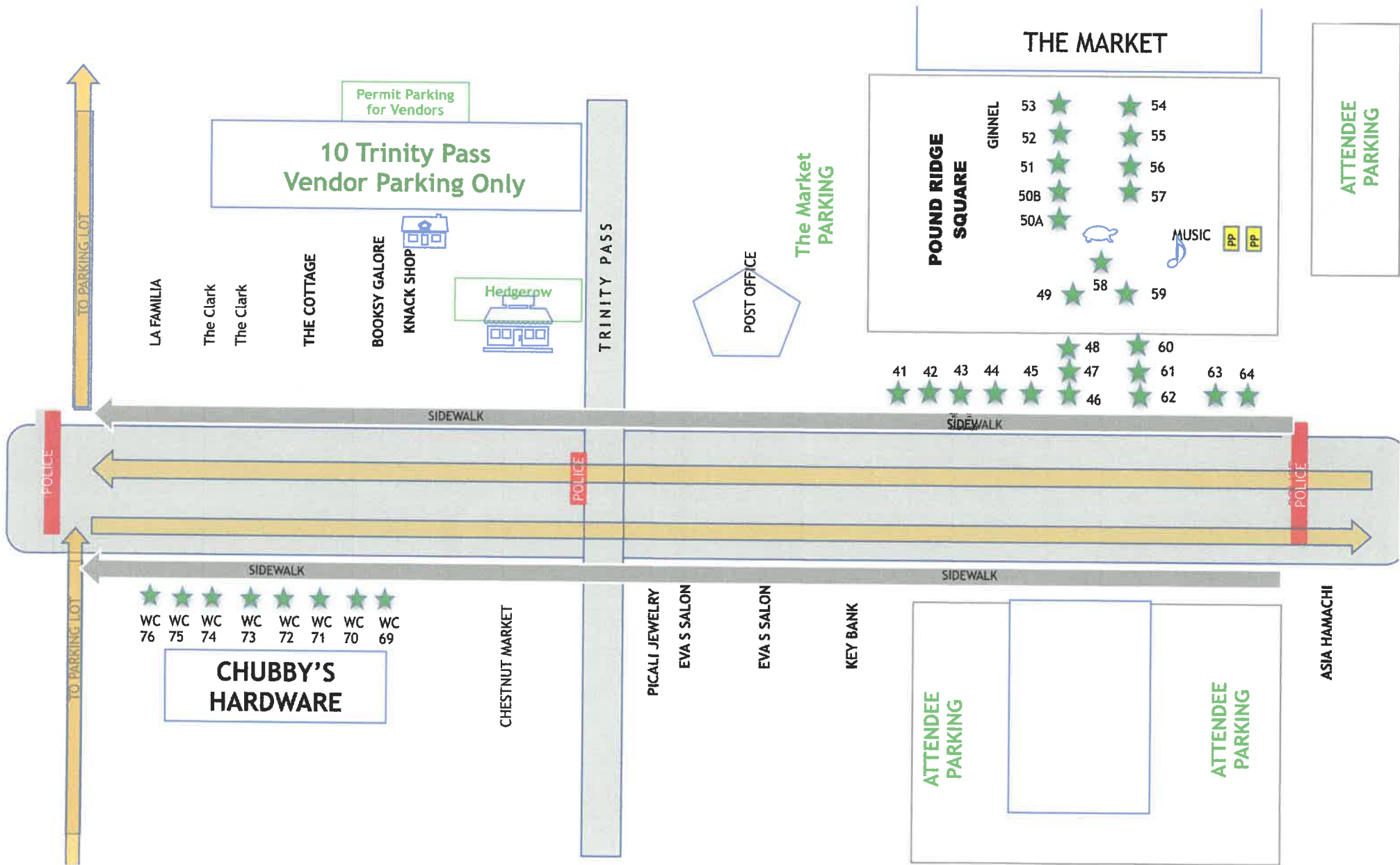
I certify that I have reviewed all application materials, and that the information contained therein is, to the best of my knowledge, accurate and truthful.

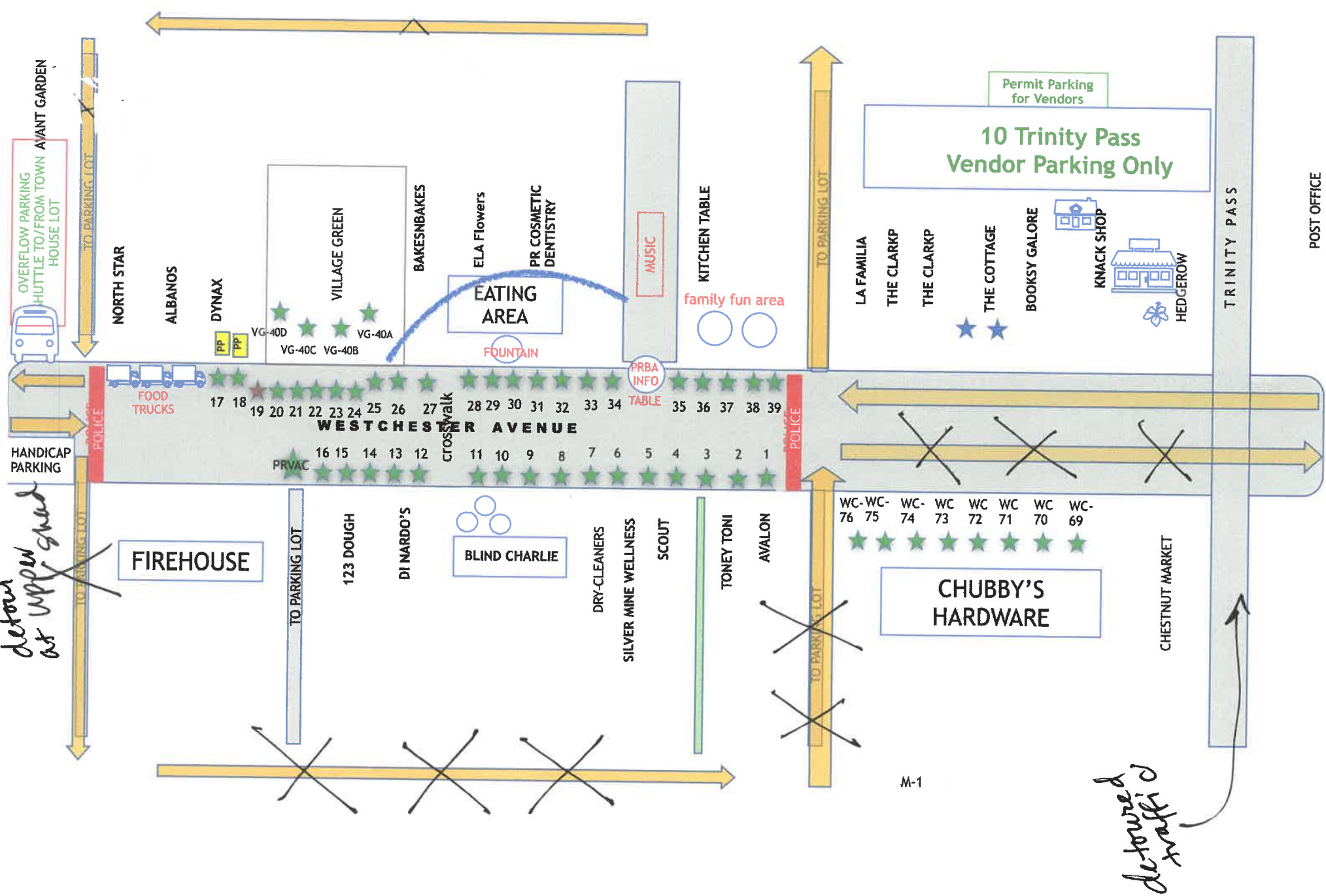
I understand that Town Board approval of my application does not constitute a permit; that if the application is approved, I must meet any and all conditions specified by the Town Board for a permit to be issued, and to remain valid. Furthermore, that under no circumstances may the event take place unless and until a permit has been issued.

X

(Printed Name)

(Date)





detour at upper quad

detoured traffic

M-1

Town Clerk's Office

MEMORANDUM

To: Town Board
From: Erin Trostle
Cc: Kevin Long
Recreation Superintendent Andrea Russo
Police Chief Tom Mulcahy
Date: July 10, 2025
Re: Harvest Festival

Attached for your review is a special event permit application from the Pound Ridge Partnership for the Harvest Festival, which is tentatively scheduled for October 4, 2025.

Please note that the event organizers will need to confer with the Recreation Superintendent if there is significant rain and the ground is saturated.

Please also note various concerns identified by Chief Mulcahy:

1. Parking
 - Number of parking passes sold not to exceed capacity at PRES and PR Nursery
 - Permission from BCSD needed for parking at PRES
 - Parking contractor needs to assess parking capacity at nursery
 - Event website and promotional materials must include "no parking" info
 - Parking coordinator to meet with PD at least one week before event and with on-site officers on day of event
 - PD needs to be notified if upper field at PRES is to be lined
2. Alcohol
 - Clarification needed as to whether any alcohol will be served without charge
 - Clarification needed as to whether "Beer Bar 2," which is adjacent to the children's area on the plan labeled "SP-1," is a root beer bar or a point of sale for alcohol
 - Recommendation that sale of alcohol stop at 4:00 pm
 - Additional recommendations for best practices regarding alcohol
3. Other
 - Event end time needs to be 5:00 pm
 - Reminder regarding no smoking in Maintenance Garage



SPECIAL EVENT APPLICATION REVIEW

EVENT: Harvest Festival 10/4/25 DATE: 6/28/25

I have reviewed the Special Event Permit Application for the event indicated above.

SIGNATURE: *Thomas D. Mulcahy* NAME: Thomas D. Mulcahy, Chief of Police

DEPARTMENT:

- | | | |
|---|--|---|
| <input checked="" type="checkbox"/> POLICE DEPARTMENT | <input type="checkbox"/> BUILDING DEPARTMENT | <input type="checkbox"/> FIRE DEPARTMENT |
| <input type="checkbox"/> MAINTENANCE DEPARTMENT | <input type="checkbox"/> RECREATION DEPARTMENT | <input type="checkbox"/> EMERGENCY SERVICES |
| <input type="checkbox"/> HIGHWAY DEPARTMENT | <input type="checkbox"/> OTHER (PLEASE SPECIFY): _____ | |

APPROVAL/CONDITIONS:

- ☐ APPROVED ☐ DISAPPROVED
- ☒ APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:

See attached

FOR TOWN DEPARTMENTS ONLY:

STAFFING NEEDED:	<u>3 Supervisors, 8 Officers (10am-7pm)</u>	STAFFING COST:	<u>\$ 5,477.42</u>
EQUIPMENT NEEDED:	_____	EQUIPMENT COST:	<u>\$</u>
OTHER COST ITEMS:	_____	OTHER COST:	<u>\$</u>
		TOTAL COST:	<u>\$ 5,477.42</u>

Please return completed review forms to the Town Clerk (townclerk@townofpoundridge.com).

Town of Pound Ridge Police Department

Tel.: 914-764-4206
Fax: 914-764-0847



Thomas D. Mulcahy
Chief of Police

June 25, 2025

2025 Harvest Festival Permit Review

Upon review of application by the Police Department, the following is a list of areas for the Town Board to take into consideration while approving this permit. There were some earlier questions as to items missing on the initial application. These are:

1. The question asking if **any alcohol will be served without charge under** Vendors is blank and thus incomplete?
2. Event end time is also blank – on previous applications it was 5pm which has been pushed day of event until 5:15 by band running over. Sunset that time of year is 6:30pm and **5pm completion time is necessary to** make sure everyone out and to cars by then. It seems to me that they are looking to make event longer since takedown start time was changed from 5:30 to 6pm.
3. Map shows **Beer Bar 2** is this another point of alcohol sales which is a change from previous or is it the Root Beer Bar since **it is next to Children's area??** If alcohol, then opens up another series of questions and concerns.

Some of the points that were raised from previous years.

Parking Plan:

1. **Number of parking passes sold not to exceed the parking capacity of Pound Ridge Elementary School and Pound Ridge Nursery.** Need to take into account that the Nursery has a lot more inventory on site than last year and condition of grass field there if it rains. **Partnership needs to secure permission for use of PRES from Bedford Central School district.** Parking from Fireworks is typically 400-425 vehicles on property and Upper Lacrosse field, as a guide. **Parking contractor to determine the capacity of Pound Ridge Nursery based on current configuration and allowable parking areas** (There is no Parking Map for Nursery). Parking is sold out when this capacity is reached. Parking contractor is responsible for staffing and parking at all parking locations.
2. **Must advertise like last year on event website and materials that "No Parking is allowed on any street surrounding the Event – Vehicles in violation are subject to being ticketed and/or towed at the owner's expense."**

Town of Pound Ridge Police Department

Tel.: 914-764-4206
Fax: 914-764-0847

Thomas D. Mulcahy
Chief of Police



3. Parking Contractor and/or Volunteer Parking Coordinator must meet with Police Department representatives at least 1 week prior to event to go over Parking Plan and to ensure they have enough staff for all designated parking areas.
4. Day of event- Parking Point of Contact must meet with on site Police Supervisors
5. Does Parking Contractor/Partnership want Upper Lacrosse Field lined according to Fireworks layout? If so, PD will coordinate with Highway prior to event.

Traffic Plan:

1. Variable Message Board to be utilized prior to event to alert public of delays and traffic surrounding event. On day of event to direct attendees to parking area at PRES and no street parking around event.
2. Necessary cones and barricades will be secured from Highway.

Alcohol Service:

This section was added based on observations and issues that arose at past years events and vendors must comply with NYSLA permit guidelines. Like all public sporting events and concerts, there is a defined time prior to the end of an event when alcohol sales cease. Since most of the crowd exits the Park after the end of the headliner's performance at 5pm, our recommendation is to stop all sales "Last Call" at 4pm. We also had an issue with individuals leaving the event with what appeared to be alcohol. The event has a roped off Beer Garden area for the consumption of alcohol which includes the VIP area. The volunteers that are trained to monitor this area need to keep an eye on this. Compliance with "Last Call" and not overserving individuals will be discussed with alcohol vendor prior to event. I have included the link to a best practice document that I found: (https://cdn2.hubspot.net/hub/37204/file-13889578-pdf/docs/serving_alcohol_guidelines_for_event_producers.pdf?t=1428444854000) but would follow the recommendations of our own Insurance Carrier. Some of these items we discussed with the Partnership in the review of last time it was held, like providing incentives for designated drivers. This is a great event and the last thing, we want to see is an unfortunate alcohol-related incident associated with it.

Other Notes:

Town of Pound Ridge Police Department

Tel.: 914-764-4206

Fax: 914-764-0847



Thomas D. Mulcahy
Chief of Police

The headlining act needs to conclude by 5pm, as in past events, to allow ample time for the safe egress of all attendees without the need for additional lighting at the Town Park and parking areas.

Maintenance Garage- as a Green Room. Reminder that this is a workplace environment and therefore a No Smoking area as per the NYS Clean Air Act. It is also utilized for meal breaks for Town Personnel and Officers working at the event. This was not an issue last time and went very well.

Police Department will request the assistance of the Westchester County Emergency Force for additional personnel for the event as in past years.

Staffing Costs: Day of Event: Tour: 10am to 7pm (9 hours) (8+1 OT)

3 Supervisors: \$1,831.70

8 Officers: \$3,645.72

Total: \$5,477.42



SPECIAL EVENT PERMIT APPLICATION

APPLICANT INFORMATION

The **applicant** is the individual, group, or entity organizing the event. Examples of applicant **type** include nonprofit organization, town board or commission, school club, etc.

Applicant Name:	Pound Ridge Partnership
Applicant Type:	Group
Address:	PO Box 402
Mailing Address:	Pound Ridge, NY 0576
Phone Number:	9149803475
Email Address:	kevinmlong@gmail.com

EVENT INFORMATION

In addition to indicating event **type** (eg, street fair, festival, road race, parade, concert, etc.), please provide a detailed event description. Examples of event **purpose** include fundraising, promoting awareness, providing education, building community spirit, promoting local businesses, etc. *If the event is a fundraiser, the purpose should include information about how the resulting funds will be used.* Identify all locations where event activity will take place, including parking.

Event Name:	Pound Ridge Harvest Festival
Event Type:	Community
Description:	Music, Food Trucks, Drink, Kids Entertainment, Community Booth
Purpose:	Community Engagement and Community Project Fundraising

*needs to be
5:00 pm per
Chief Mulcahy*

Event Date:	October 4, 2025	Alternate Date:	
Event Start Time:	12PM	Event End Time:	
Setup Start Time:	7AM	Setup End Time:	
Takedown Start:	6PM	Takedown End:	

Location(s):	Pound Ridge Town Park		
On private property?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Parking location(s):	PRES, Pr Community Church, PR Nursery, PRTP Tennis Courts		
On private property?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	

Road closure(s) requested:	No. Police discretion
Closure times requested:	

Admission fee?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Parking fee?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

VENDORS/LICENSES

Will the event include food and/or beverage vendors?		
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Number, if any:10?
Will any food or beverages be served without charge in conjunction with the event?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Will the event include non-food vendors?		
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Number, if any:50
Will the event include alcoholic beverage vendors?		
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Number, if any:1
Will any alcohol be served without charge in conjunction with the event?		
<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Will the event include gambling of any kind?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	

Please note that it is the applicant's responsibility to ensure that any vendors have all required licenses and/or permits.

*presumably
not?*

CONTACTS

Primary Contact Name:	Kevin Long		
Cell Phone Number:	9149803475	Email Address:	kevinmlong@gmail.com
Event Day Contact Name:	Same as above		
Cell Phone Number:		Email Address:	
Weather Contact Name:	James Best		
Cell Phone Number:	(914) 391-8182	Email Address:	jbest@poundridgepartners

Note that the weather contact person must be on site throughout the event, and also that it is the responsibility of the organizer to communicate postponements and cancellations to the public.

Please indicate how decisions regarding postponement or cancellation will be made, and how you will respond if sudden severe weather develops while the event is in progress:

--

LOGISTICS

CROWD MANAGEMENT

Anticipated attendance:	4000	
Describe crowd control plan:	Plan in place in conjunction with town and police officials	
Describe perimeter control plan:	Plan in place in conjunction with police officials	
Emergency services present?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Will event be ADA compliant?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

VOLUNTEERS

Indicate number of volunteers:	100
Describe role(s) of volunteers:	Kidds entertainment, greeting, ticket sales, beverage servers

SANITATION/GARBAGE		
Portable toilets provided:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If so, how many?	As many as we need to comply with crowd size	
Garbage/recycling bins provided?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Describe garbage/recycling plan:	Volunteers in conjunction with town park employees	

NEIGHBORHOOD IMPACT/NOTIFICATION		
Will there be noise impacts?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Will there be amplified music?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Will there be light impacts?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Have neighbors been notified?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

STRUCTURES/SAFETY		
Tents or canopies?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please describe:	Tents for volunteers, VIP, potentially other areas	
Stage or other structures?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please describe:	Mobile stage, same as years past	
Fireworks or open flame?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		

UTILITIES		
Water access needed?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		
Electricity needed?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		
WiFi access needed?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please indicate # of users:	20	

PROMOTION		
Banner permission requested?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please indicate location and dates:	9/1/25, Westchester Ave, Scotts Corners	
Other signage?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please describe:	Potential lawn signs and town park banner	

TOWN RESOURCES		
Town bus needed?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please indicate time:	10-6pm	
Barricades or cones needed?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please specify:	police/rec dept barricades	
Other town-owned property needed?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please specify:	Maintenance garage for green room	

OUTSIDE RESOURCES		
Outside bus transportation?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please describe:	Will have bus service to and from parking areas	
Outside parking assistance?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please describe:	Parking Systems, Inc., as in years past	
Other outside resources?	<input type="checkbox"/> Yes	<input type="checkbox"/> No
If yes, please describe:		

SUPPORTING DOCUMENTS

MAPS/PLANS

Event Site Plan

☒ Yes

☐ No

The Event Site Plan should include locations of the following if applicable: stages/tents, power/water sources, portable toilets, accessible toilets, medical aid locations, admission sales area, alcohol sales/services, pedestrian pathways, entrances/exits, vendors/riders.

PLEASE ATTACH

Parking/Traffic Plan

☒ Yes

☐ No

The Parking/Traffic Plan should include locations of the following if applicable: road closures, traffic patterns, bus routes/stops, parking payment area, attendee parking, accessible parking, vendor parking, volunteer parking.

* PLEASE ATTACH*

LEGAL DOCUMENTS

Insurance Certificate(s)

☒ Yes

☐ No

Indemnity Agreement(s)

☒ Yes

☐ No

Permits/Licenses (other than for vendors)

☒ Yes

☐ No

Please note that it is the applicant's responsibility to obtain insurance naming the town as an additional insured.

DEPOSIT/FEEES

Damage Deposit Paid (Indicate Amount):

Waiver Requested:

☒ Yes

☐ No

Application Fee Paid (Indicate Amount):

Waiver Requested:

☒ Yes

☐ No

ENDORSEMENT

I certify that I have reviewed all application materials, and that the information contained therein is, to the best of my knowledge, accurate and truthful.

I understand that Town Board approval of my application does not constitute a permit; that if the application is approved, I must meet any and all conditions specified by the Town Board for a permit to be issued, and to remain valid. Furthermore, that under no circumstances may the event take place unless and until a permit has been issued.

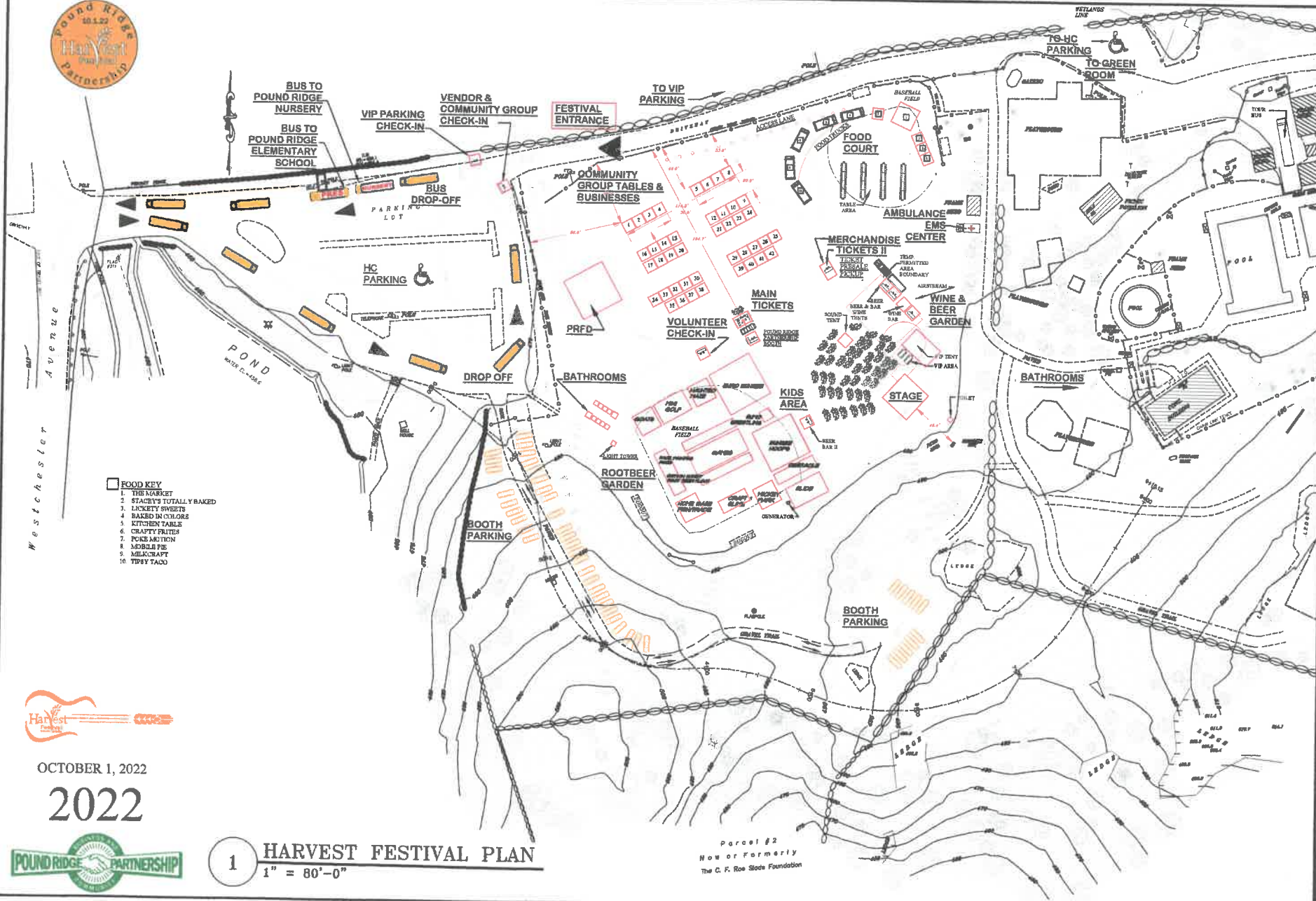
X Kevin M. Long

Kevin M. Long

(Printed Name)

6/6/2025

(Date)



- FOOD KEY**
1. THE MARKET
 2. STAGERS TOTALLY BAKED
 3. LUCKY SWEETS
 4. BAKED IN COLORS
 5. KITCHEN TABLE
 6. CRAFTY FRITES
 7. POKE MOTION
 8. MOBILE FIS
 9. MISCRAFT
 10. TIRIST TACO



OCTOBER 1, 2022

2022



1

HARVEST FESTIVAL PLAN

1" = 80'-0"

Parcel #2
Now or Formerly
The C. F. Roe State Foundation

JAMES T. BEST ARCHITECT + ASSOCIATES

P.O. BOX 240
POUND RIDGE, NEW YORK 10576
914.741.899 FAX 914.741.897
EMAIL: jtb@jamesbestarchitect.com
www.jamesbestarchitect.com

HARVEST FESTIVAL

TOWN OF POUND RIDGE
TOWN PARK
199 WESTCHESTER AVE
POUND RIDGE, NY 10576

DESIGNED BY
JTB
DATE
REVISED
DATE

HARVEST FESTIVAL
PLAN

SHEET NO.

SP-1



DRAFT

OCTOBER 2, 2022

2022



JAMES T. BEST ARCHITECT + ASSOCIATES

P.O. BOX 240
POUND RIDGE, NEW YORK 10576

24-64-8889 FAX 914-944-8877
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HARVEST FESTIVAL

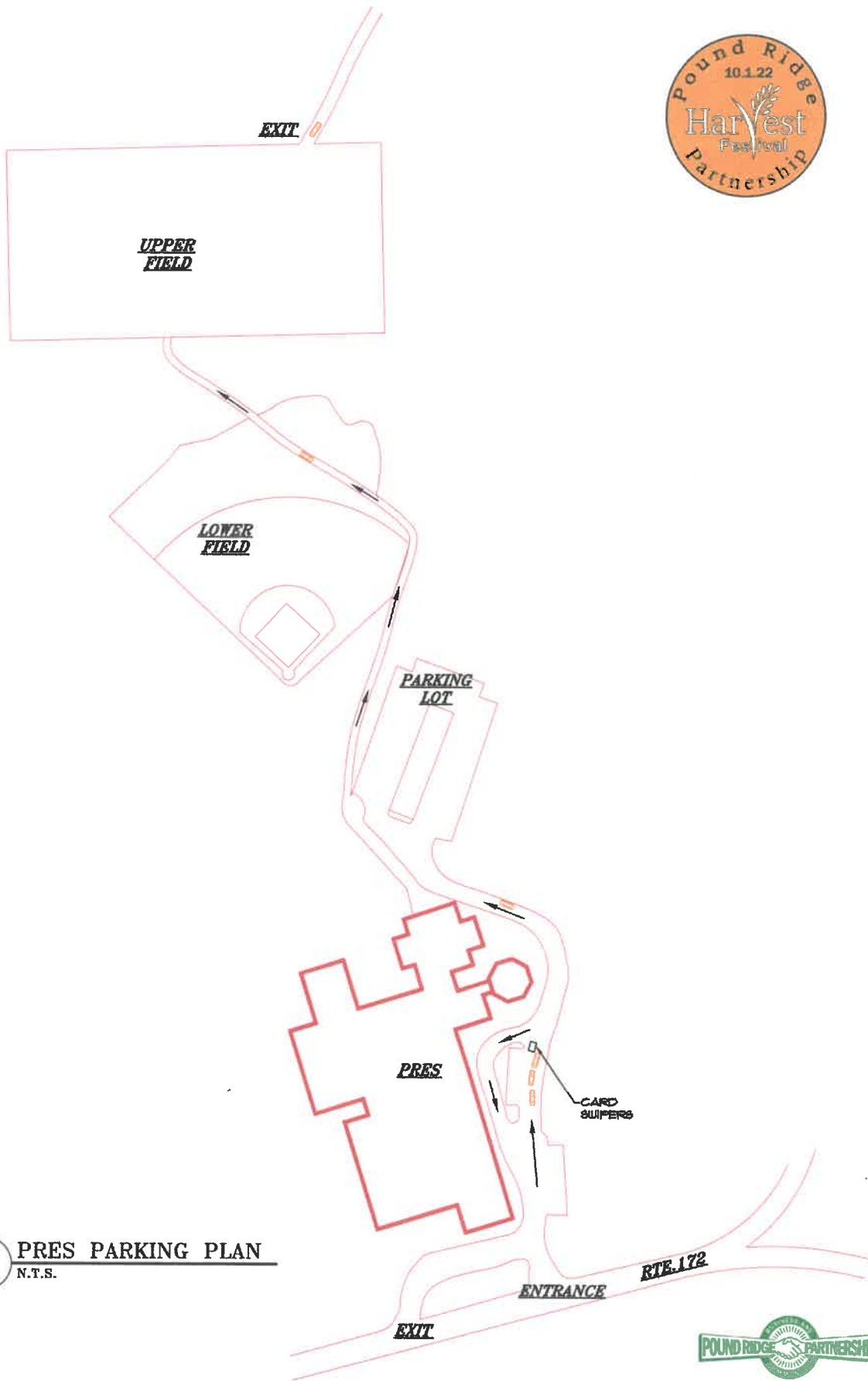
POUND RIDGE PARTNERSHIP
TOWN PARK
199 WESTCHESTER AVENUE
POUND RIDGE, NY 10576

DATE	BY	DATE	BY
10/2/22	JTB	10/2/22	JTB

POUND RIDGE PARTNERSHIP
HARVEST FESTIVAL
PARKING PLAN

SHEET NO.

SP-2



1

PRES PARKING PLAN
N.T.S.

Sheet No.

1

Drawing Title

PARKING PLAN

Drawn By

JTB

Date

6/4/22

Reviewed By

JTB

Date

Project

PRES PARKING

Pound Ridge Elementary School
7 Pound Ridge Road
Pound Ridge, NY 10576

JAMES T. BEST ARCHITECT + ASSOCIATES

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POUND RIDGE, NEW YORK 10576

914.764.8889 FAX 914.764.8887
EMAIL: jtb@jamesbestarchitecture.com
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Town Clerk's Office

MEMORANDUM

To: Town Board
From: Erin Trostle
Cc: PRBA President Lisa Miller
Police Chief Tom Mulcahy
Date: July 10, 2025
Re: Halloween Walk

Attached for your review is a special event permit application from the Pound Ridge Business Association for the annual Halloween Walk in Scotts Corners. This event is essentially unchanged from previous years.



SPECIAL EVENT PERMIT APPLICATION

APPLICANT INFORMATION

The **applicant** is the individual, group, or entity organizing the event. Examples of applicant **type** include nonprofit organization, town board or commission, school club, etc.

Applicant Name:	PRBA
Applicant Type:	
Address:	PO Box 168
Mailing Address:	Pound Ridge, NY 10576
Phone Number:	914-282-9582
Email Address:	presidentprba@gmail.com

EVENT INFORMATION

In addition to indicating event **type** (eg, street fair, festival, road race, parade, concert, etc.), please provide a detailed event description. Examples of event **purpose** include fundraising, promoting awareness, providing education, building community spirit, promoting local businesses, etc. *If the event is a fundraiser, the purpose should include information about how the resulting funds will be used.* Identify all locations where event activity will take place, including parking.

Event Name:	Halloween Walk
Event Type:	
Description:	
Purpose:	Community Spirit

Event Date:	Oct.31	Alternate Date:	None
Event Start Time:	4:30	Event End Time:	6:00
Setup Start Time:		Setup End Time:	
Takedown Start:		Takedown End:	

Location(s):	Business District		
On private property?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Parking location(s):			
On private property?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	

Road closure(s) requested:	No
Closure times requested:	

Admission fee?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Parking fee?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

VENDORS/LICENSES

Will the event include food and/or beverage vendors?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Number, if any:
Will any food or beverages be served without charge in conjunction with the event?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Will the event include non-food vendors?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Number, if any:
Will the event include alcoholic beverage vendors?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Number, if any:
Will any alcohol be served without charge in conjunction with the event?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Will the event include gambling of any kind?		
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	

Please note that it is the applicant's responsibility to ensure that any vendors have all required licenses and/or permits.

CONTACTS

Primary Contact Name:	Lisa Miller		
Cell Phone Number:	914-282-9582	Email Address:	presidentprba@gmail.com
Event Day Contact Name:	same as above		
Cell Phone Number:		Email Address:	
Weather Contact Name:	same as above		
Cell Phone Number:		Email Address:	

Note that the weather contact person must be on site throughout the event, and also that it is the responsibility of the organizer to communicate postponements and cancellations to the public.

Please indicate how decisions regarding postponement or cancellation will be made, and how you will respond if sudden severe weather develops while the event is in progress:

--

LOGISTICS

CROWD MANAGEMENT

Anticipated attendance:	500	
Describe crowd control plan:		
Describe perimeter control plan:		
Emergency services present?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Will event be ADA compliant?	<input type="checkbox"/> Yes	<input type="checkbox"/> No

VOLUNTEERS

Indicate number of volunteers:	none
Describe role(s) of volunteers:	

SANITATION/GARBAGE		
Portable toilets provided:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If so, how many?		
Garbage/recycling bins provided?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Describe garbage/recycling plan:		

NEIGHBORHOOD IMPACT/NOTIFICATION		
Will there be noise impacts?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Will there be amplified music?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Will there be light impacts?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Have neighbors been notified?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

STRUCTURES/SAFETY		
Tents or canopies?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		
Stage or other structures?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		
Fireworks or open flame?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		

UTILITIES		
Water access needed?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		
Electricity needed?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		
WiFi access needed?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please indicate # of users:		

PROMOTION		
Banner permission requested?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please indicate location and dates:		
Other signage?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		

TOWN RESOURCES		
Town bus needed?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please indicate time:		
Barricades or cones needed?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please specify:		
Other town-owned property needed?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please specify:		

OUTSIDE RESOURCES		
Outside bus transportation?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		
Outside parking assistance?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		
Other outside resources?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
If yes, please describe:		

SUPPORTING DOCUMENTS

MAPS/PLANS

Event Site Plan

☐ Yes

☒ No

The Event Site Plan should include locations of the following if applicable: stages/tents, power/water sources, portable toilets, accessible toilets, medical aid locations, admission sales area, alcohol sales/services, pedestrian pathways, entrances/exits, vendors/riders.

PLEASE ATTACH

Parking/Traffic Plan

☐ Yes

☒ No

The Parking/Traffic Plan should include locations of the following if applicable: road closures, traffic patterns, bus routes/stops, parking payment area, attendee parking, accessible parking, vendor parking, volunteer parking.

* PLEASE ATTACH*

LEGAL DOCUMENTS

Insurance Certificate(s)

☐ Yes

☒ No

Indemnity Agreement(s)

☐ Yes

☐ No

Permits/Licenses (other than for vendors)

☐ Yes

☐ No

Please note that it is the applicant's responsibility to obtain insurance naming the town as an additional insured.

DEPOSIT/FEEES

Damage Deposit Paid (Indicate Amount):

Waiver Requested:

☐ Yes

☐ No

Application Fee Paid (Indicate Amount):

Waiver Requested:

☐ Yes

☐ No

ENDORSEMENT

I certify that I have reviewed all application materials, and that the information contained therein is, to the best of my knowledge, accurate and truthful.

I understand that Town Board approval of my application does not constitute a permit; that if the application is approved, I must meet any and all conditions specified by the Town Board for a permit to be issued, and to remain valid. Furthermore, that under no circumstances may the event take place unless and until a permit has been issued.

X

(Printed Name)

(Date)

From: john.cosetti.com
To: [Nicole Engel](#)
Cc: ["Melinda Avellino"](#)
Subject: Eastwoods Preserve- Parking lot
Date: Saturday, June 28, 2025 4:33:22 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Nicole - we cleaned up the Eastwoods preserve trail the other day and now we wanted to improve the parking lot. More specifically, the Eastwoods parking lot has potholes and floods a bit when it rains making it difficult to get to the trail (see attached photo) without getting your shoes pretty muddy.

we have some donated gravel and the plan was to trim the weeds, flatten the dirt a bit and lay down the gravel to prevent some of the flooding. Vinny gave us approval to do these tasks but we wanted to ask you if we need to ask the town board for approval. Happy to chat with you if you have any questions or concerns, thanks

Thanks
John cosetti
201-965-6064

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CLAIM

TOWN OF POUND RIDGE
POUND RIDGE NY 10576



PURCHASE ORDER NO.:

DATE: 7/10/2025

**CLAIMANT'S
AND
ADDRESS**

Diane and Peter Briggs
 2 Trinity Lane
 Pound Ridge, NY 10576

VENDOR #:

APPROPRIATION	AMOUNT	VOUCHER #
T32.3798	\$3,192.50	
TOTAL	\$3,192.50	

DATES	DESCRIPTION OF MATERIALS OR SERVICES	QUANTITY	UNIT PRICE	AMOUNT
7/10/2025	Return of unused Planning Board Escrow	1	\$3,192.50	\$3,192.50
	payable to Diane Briggs			\$0.00
	for 2 Trinity Lane			\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
			TOTAL	\$3,192.50

CLAIMANT'S CERTIFICATION

I, _____, certify that the above account in the amount of \$3,192.50 is true and correct; that the items, services, and disbursements charged were rendered to or for the town on the dates stated; that no part has been paid or satisfied; that taxes, from which the municipality is exempt, are not included; and that the amount claimed is actually due.

date

signature

title

SPACE BELOW FOR TOWN USE

DEPARTMENT APPROVAL

The above services or materials were rendered or furnished to the town on the dates stated and the charges are correct.

date

authorized official

APPROVAL FOR PAYMENT

This claim is approved and ordered paid from the appropriations indicated above.

Date	Beginning Balance	Deposits Added	Payments Out	Ending Balance	Vendor	Comments	Invoice #
11/20/2024		4000.00		4000.00	Peter Briggs	ck# 8318	
2/10/2025	4000.00		290.00	3710.00	P&D	247911-1	November
2/11/2025	3710.00		517.50	3192.50	P&D	247911-2	December
						requested refund for July 15, 2025 Town Board mtg	

		4000.00	807.50	3192.50
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#3798 Briggs - 2 Trinity Lane

Christeen Dur

From: Diane Briggs <diane.briggs@gmail.com>
Sent: Monday, July 7, 2025 4:43 PM
To: Christeen Dur
Subject: Re: PB escrow refund

Thank you!

On Mon, Jul 7, 2025 at 4:40 PM Christeen Dur <cdur@townofpoundridge.com> wrote:

No problem.

They were issued on the same date but if you see in the actual invoice below that is a description- 1 is for November and 1 is for December.

They are also saved with your account number -1 and -2- that's how Jason's firm saves their bills and they only bill every couple of months.

From: Diane Briggs <diane.briggs@gmail.com>
Sent: Monday, July 7, 2025 4:37 PM
To: Christeen Dur <cdur@townofpoundridge.com>
Subject: Re: PB escrow refund

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Thank you very much for your speedy reply!

Why does it appear that the bills are redundant?

On Mon, Jul 7, 2025 at 4:13 PM Christeen Dur <cdur@townofpoundridge.com> wrote:

Hi Diane

Thanks for your message. Please find attached a summary and respective bills for your PB escrow. I will submit your refund of \$3,192.50 for approval on the next town board agenda and to finance at the same time for processing. Let me know if you have any questions.

Thank you. Christeen

Christeen CB Dür
Grants Coordinator & Administrator
Planning Board & Water Control Commission
Town of Pound Ridge
179 Westchester Ave., Pound Ridge, NY 10576
Tel: 914.764.3982 Fax: 914.764.0102
townofpoundridge.com

	Kevin	Ali	Dan	Diane	Namasha	Other
Boards & Commissions						
Audit Bills					X	
Board of Assessment Review		X				
Board of Ethics	X					
Climate Smart Communities Task Force		X				
Conservation Board			X			
Economic Development Committee				X		
Energy Action Committee			X			
Highway & Maintenance				X		
Housing Board			X			
Human Rights Advisory Committee					X	
Landmarks & Historic District					X	
OEM	X					
Old Pound Road Committee		X				
Open Space			X			
Planning Board					X	
Police Department	X					
Recreation Commission				X		
Water Control Commission			X			
Zoning Board of Appeals				X		
Other						
BCSDNY	X					
East of Hudson Watershed	X					
Environmental Initiatives Advisors						Elyse/Bill Harding
Fire District	X					
Library Board	X					
New Dawn			X			
Sustainable Westchester			X			
THRIVE				X		
Water Wastewater Task Force		X				
WEMS						Tom Mulcahy
Westchester County Shared Services	X					
Wireless Communication				X		